

**CITY OF ELKO NEW MARKET  
CITY COUNCIL WORK SESSION AGENDA  
CITY OF ELKO NEW MARKET  
601 MAIN STREET  
ELKO NEW MARKET, MINNESOTA  
THURSDAY, SEPTEMBER 27, 2018**

**6:30 PM**

- 1. Call to Order**
- 2. Presentations**
  - a. Concept Plan for Adelman Properties
- 3. Reports**
- 4. General Discussion**
- 5. Reports (Cont'd)**
  - a. Reports from the Business Agenda may be presented if time permits
- 6. Adjournment**

**CITY OF ELKO NEW MARKET  
CITY COUNCIL AGENDA  
ELKO NEW MARKET CITY HALL  
601 MAIN STREET  
ELKO NEW MARKET, MINNESOTA 55054  
THURSDAY, SEPTEMBER 27, 2018**

**BUSINESS MEETING  
7:30 PM**

Invocation: Father Chad VanHoose, All Saints Catholic Church

**1. Call to Order**

**2. Pledge of Allegiance**

**3. Adopt/Approve Agenda**

**4. Presentations, Proclamations and Acknowledgements (PP&A)**

**5. Public Comment**

*Individuals may address the Council about any item not contained on the regular agenda. The Council may limit the time allotted to each individual speaker. A maximum of 15 minutes will be allotted for Public Comment. If the full 15 minutes are not needed for Public Comment, the City Council will continue with the agenda. The City Council will not normally take any official action on items discussed during Public Comment, with the exception of referral to staff or commission for future report.*

**6. Consent Agenda**

*All matters listed under consent agenda are considered routine by the City Council and will be acted on by one motion in the order listed below. There may be an explanation, but no separate discussion on these items. If discussion is desired, that item will be removed from the consent agenda and considered separately.*

- a. Approve September 18, 2018 Minutes of the City Council Meeting
- b. Approve Payment of Claims and Electronic Transfer of Funds
- c. Approval of Liquor Licenses
  - i. Adopt Resolution 18-51 granting Off Sale Liquor License for TDF Liquors
  - ii. Adopt Resolution 18-52 granting On Sale, Sunday and Off Sale Liquor Licenses for The Doublewide
  - iii. Adopt Resolution 18-53 granting On Sale and Sunday Liquor License for Boulder Pointe Golf Club
  - iv. Adopt Resolution 18-54 granting On Sale Non-Intoxicating Beer License for Elko Baseball Club
  - v. Adopt Resolution 18-55 granting On Sale, Sunday and Off Sale Liquor Licenses for Leo's Bar
  - vi. Adopt Resolution 18-56 granting On Sale, Sunday and Off Sale Liquor Licenses for The End Zone
  - vii. Adopt Resolution 18-57 granting On Sale Non Intoxicating Beer License for New Market Baseball Association
  - viii. Adopt Resolution 18-58 granting On Sale, Sunday and Off Sale Liquor Licenses for Bullseye Saloon
  - ix. Adopt Resolution 18-59 granting On Sale, Sunday and Off Sale Liquor Licenses for Captain Black's Bar and Grill.
  - x. Adopt Resolution 18-60 granting On Sale and Sunday Liquor License for Elko Holding Company
- d. Adopt Resolution 18-62 Approving a One Day Gambling Permit for N.E.W. Ducks Unlimited

- e. Alternate Water Rate Structure for Irrigation of Newly Installed Sod
  - i. Adopt Ordinance No. 174 Amending Title 9, Chapter 1 of the Elko New Market City Code Concerning Water Rates for Irrigation of New Sod
  - ii. Adopt Ordinance No. 175 Amending City of Elko New Market Ordinance No. 165 Concerning the Schedule of Fees
- f. Dakota Acres 1st Addition, Syndicated Properties
  - i. Adopt Ordinance No. 176 Rezoning Property to Planned Unit Development District Zoning
  - ii. Adopt Resolution 18-50 Approving the Preliminary and Final Plat and Development Contract
- g. Accept Concept Development Plan for Adelman Properties
- h. Adopt Resolution 18-63 Vacating for Public Roadway, Drainage and Utility Easement
- i. 2019 Preliminary Budget
  - i. Adopt Resolution 18-64 Approving 2019 Preliminary Budget
  - ii. Adopt Resolution 18-65 Approving 2018 Tax Levy Collectible in 2019
- j. Authorize Hire of Part-time Finance Director

## **7. Public Hearings**

## **8. General Business**

- a. Adopt Resolution 18-61 granting On Sale and Sunday Liquor License for Firehouse Grille
- b. Planning Commissioner Thompson Resignation

## **9. Reports**

- a. Administration
- b. Public Works
- c. Police Department
- d. Fire Department
- e. Engineering
  - i. 2019 Pavement Rehabilitation Feasibility Report Preview
- f. Community Development
- g. Parks Department
  - i. Draft September 11, 2018 Parks Commission Minutes
- h. Other Committee and Board Reports
  - i. Scott County Association for Leadership and Efficiency (SCALE)
  - ii. Minnesota Valley Transit Authority (MVTA)
  - iii. I35 Solutions Alliance
  - iv. Chamber of Commerce
  - v. Regional Council of Mayors
  - vi. Civic & Community Events Committee (CCEC)
  - vii. Downtown Improvement Committee
  - viii. 50 By 30 Collective Impact Project
    - Steering Committee
    - Transportation Committee
    - Housing Committee
    - Workforce Committee

## **10. Discussion by Council**

**1. CALL TO ORDER**

The meeting was called to order by Mayor Crawford at 7:30 a.m.

Members Present: Mayor Crawford, Councilmembers: Berg, Julius and Timmerman

Members Absent None

Also Present: City Administrator Terry, Assistant City Administrator Nagel, Police Chief Mortenson, Public Works Superintendent Schweich and City Clerk Green

**2. PLEDGE OF ALLEGIANCE**

Mayor Crawford led the Council and audience in the Pledge of Allegiance.

**3. ADOPT/APPROVE AGENDA**

**MOTION** by Councilmember Berg, second by Councilmember Timmerman to approve the agenda as revised.

Agenda Item 6i amended to read August 23, 2018 Minutes

Agenda Item 6d amended to add Resolutions 18-48 and 18-49

Agenda Item 8a added Verizon Access Agreement

**APIO, MOTION CARRIED**

**4. PRESENTATIONS, PROCLAMATIONS AND ACKNOWLEDGEMENTS**

None

**5. PUBLIC COMMENT**

None

**6. CONSENT AGENDA**

**MOTION** by Councilmember Timmerman, second Councilmember Berg to approve Consent Agenda as amended.

- a. Approve August 23, 2018 Minutes of the City Council Meeting
- b. Approve Payment of Claims and Electronic Transfer of Funds
- c. Authorize Hire of Public Works Maintenance Worker I
- d. The Preserve at Elko New Market
  - i. Adopt Resolution 18-48 Establishing an Orderly Annexation Agreement
  - ii. Adopt Resolution 18-49 Approving Predevelopment Agreement

**APIO, MOTION CARRIED**

## 7. PUBLIC HEARINGS

None

## 8. GENERAL BUSINESS

### Verizon Access Agreement

City Administrator Terry informed the City Council that Verizon has indicated interest in the possibility of placing some of their equipment on the west water tower. Verizon would like to get on site to evaluate the west water tower location for placement of their equipment. The City will need to get the more details on Verizon's plans for the west tower in order to evaluate if placement of Verizon equipment will work for the City as well as Verizon. To ensure all details are in place prior to Verizon coming on site, Administrator Terry asked Council to authorize the City Administrator to execute an Access Agreement with Verizon pursuant to formal approval by the City Attorney.

**MOTION** by Councilmember Timmerman, second by Councilmember Julius to authorize the City Administrator to execute an Access Agreement with Verizon. **APIF, MOTION CARRIED**

## 9. REPORTS

### a) ADMINISTRATION

None

### b) PUBLIC WORKS

Written report included in Council Packet.

### c) POLICE DEPARTMENT

Written report included in Council Packet. Chief Mortenson informed the Council of the upcoming Coffee with a Cop event.

### d) FIRE DEPARTMENT

None

### e) ENGINEERING

None

### f) COMMUNITY DEVELOPMENT

Draft August 28, 2018 Planning Commission Minutes included in Council Packet.

g) PARKS DEPARTMENT

Parks Commission Update included in Council Packet. Assistant City Administrator Nagel gave the Council brief updates on status of intern applications and solar panels to be installed at the Public Works Facility and the Water Treatment Plant.

h) OTHER COMMITTEE AND BOARD REPORTS

i. SCALE

Mayor Crawford gave a brief update of last SCALE meeting which included a discussion on housing.

ii. MVTA

None

iii. I35 SOLUTIONS ALLIANCE

None

iv. CHAMBER OF COMMERCE

None

v. REGIONAL COUNCIL OF MAYORS

Mayor Crawford gave a brief update of the last Regional Council of Mayors meeting which included a Greater MSP presentation.

vi. COMMUNITY AND CIVIC EVENTS COMMITTEE

None

vii. DOWNTOWN IMPROVEMENT COMMITTEE

None

viii. 50 BY 30 COLLECTIVE IMPACT PROJECT

- Steering Committee – None
- Transportation Committee –None
- Housing Committee – None
- Work Force Committee –None

After holding a discussion on whether to leave 50 x 30 on the agenda or remove it, the Council decided to leave 50 x 30 on the agenda; however, there will only be a Council discussion if any item pertinent to the Council was discussed at a 50 x 30 meeting.

10. DISCUSSION BY COUNCIL

None

11. ADJOURNMENT

**MOTION** by Councilmember Timmerman, second by Councilmember Julius to adjourn the meeting at 7:45 a.m. **APIF, MOTION CARRIED**

Respectfully submitted by:

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Sandra Green, City Clerk



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Presentation of Elko New Market Claims and Electronic Transfer of Funds
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Sandra Green, City Clerk
<b>REQUESTED ACTION:</b>	Approve Payment of Current Claims

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

**BACKGROUND**

Each month the City Clerk presents for approval the Elko New Market Claims and Electronic Transfer of Funds.

**BUDGET IMPACT:**

Budgeted

Attachments:

- Check Summary Register

**CITY OF ELKO/NEW MARKET**  
**\*Check Summary Register©**

**September 27, 2018**

	Name	Check Date	Check Amt	
<b><u>AUTO PAYS</u></b>				
Paid Chk#	005712EPERA	9/18/2018	\$7,594.46	Vendor Liability
Paid Chk#	005713EMN DEPT OF REVENUE	9/18/2018	\$1,951.39	Vendor Liability
Paid Chk#	005714EINTERNAL REVENUE SERVICE	9/18/2018	\$9,057.51	Vendor Liability
Paid Chk#	005715EHEALTH PARTNERS	9/19/2018	\$10,461.09	MEDICAL INS - SEPTEMBER
Paid Chk#	005716EINTEGRA TELECOM INC.	9/20/2018	\$447.20	Police Dept Phone/Fax
Paid Chk#	005717EINTEGRA TELECOM INC.	9/20/2018	\$546.76	Area Hall Phone/SCADA
Paid Chk#	005718EMN VALLEY ELECTRIC COMPANY	9/22/2018	\$20.00	268X Xerxes Water Tower, Elko
Paid Chk#	005719EINTEGRA TELECOM INC.	9/20/2018	\$49.99	139503 - 25499 Natchez Ave
Paid Chk#	005720EINTEGRA TELECOM INC.	9/20/2018	\$168.59	937759 - 25499 Natchez Ave Bld
Paid Chk#	005721EDAKOTA ELECTRIC ASSN	9/27/2018	\$127.67	Ptarmigan Drive Streetlights
Paid Chk#	005722EXCEL ENERGY	10/1/2018	\$382.81	Streetlights
Paid Chk#	005723EXCEL ENERGY	10/2/2018	\$4,724.02	601 Main Street
Paid Chk#	005724EMN VALLEY ELECTRIC COMPANY	10/9/2018	\$10.74	City of Elko Park, Elko
Paid Chk#	005725EPERA	9/24/2018	\$465.92	Vendor Liability
Paid Chk#	005726EMN DEPT OF REVENUE	9/24/2018	\$148.13	Vendor Liability
Paid Chk#	005727EINTERNAL REVENUE SERVICE	9/24/2018	\$776.34	Vendor Liability
		<b>Total Checks</b>	<b>\$36,932.62</b>	

<b><u>PREPAID</u></b>				
Paid Chk#	038906	SCOTT COUNTY RECORDER	9/7/2018	\$92.00 Encroach Agreement Recording -
Paid Chk#	038907	LEAGUE OF MN CITIES INS	9/10/2018	\$8,793.00 Worker's Comp General
Paid Chk#	038908	UNITED STATES POSTAL SERV	9/12/2018	\$297.36 Postage
Paid Chk#	038909	SCHULTE, DAVE	9/17/2018	\$540.00 Night to Unite
Paid Chk#	038910	BRIGHT, ROBERT WILLIAM	9/20/2018	\$69.26
Paid Chk#	038911	FRIEDGES, TODD DAVID	9/20/2018	\$429.25
Paid Chk#	038912	HUMPHREY, THOMAS W.	9/20/2018	\$46.17
Paid Chk#	038913	SEURER, KEVIN MATTHEW	9/20/2018	\$69.26
Paid Chk#	038914	VISA	9/20/2018	\$4,417.31 Varidesk
		<b>Total Checks</b>	<b>\$14,753.61</b>	

<b><u>CHECK REGISTER</u></b>				
Paid Chk#	038916	ACE HARDWARE & PAINT	9/27/2018	\$122.68 PW - Operating Supplies
Paid Chk#	038917	ACE HARDWARE & PAINT4	9/27/2018	\$7.96 PW - Water Repairs
Paid Chk#	038918	AIRGAS USA, LLC	9/27/2018	\$132.65 FD - Oxygen
Paid Chk#	038919	ALLINA HEALTH SYSTEM	9/27/2018	\$1,130.00 PD - EMT Refresher Courses
Paid Chk#	038920	CAMPBELL KNUTSON	9/27/2018	\$5,321.50 Meetings
Paid Chk#	038921	CDW GOVERNMENT	9/27/2018	\$1,330.83 Computer Equipment
Paid Chk#	038922	CINTAS CORPORATION NO. 2	9/27/2018	\$20.85 PW UNIFORMS
Paid Chk#	038923	DAKOTA AGGREGATES, LLC	9/27/2018	\$121.84 PW - Streets
Paid Chk#	038924	ECOLAB	9/27/2018	\$161.54 Pest Control
Paid Chk#	038925	FISH ROCK COUNTRY MARKET	9/27/2018	\$9.98 2018 Community Picnic - Ice
Paid Chk#	038926	FLEET SERVICES &	9/27/2018	\$77.54 PW - Fleet Maint & Equip
Paid Chk#	038927	FLEETPRIDE	9/27/2018	\$164.62 PW - Fleet Maint & Equip
Paid Chk#	038928	GOPHER STATE ONE CALL	9/27/2018	\$81.00 Locates
Paid Chk#	038929	HACH COMPANY	9/27/2018	\$140.07 PW - Chemicals
Paid Chk#	038930	HANSON, DAVE	9/27/2018	\$125.00 PW - Building Maint
Paid Chk#	038931	KELLEY FUELS, INC.	9/27/2018	\$2,433.28 PW - Fuel
Paid Chk#	038932	KRUEGER EXCAVATING, INC.	9/27/2018	\$11,460.00 PW - Water Repairs/Water Main
Paid Chk#	038933	LAKEVILLE SANITARY, INC.	9/27/2018	\$330.09 11756 - Wagner Park
Paid Chk#	038934	LOFFLER COMPANIES	9/27/2018	\$67.56 PD Copier
Paid Chk#	038935	JOHN MACHABY	9/27/2018	\$391.68 PD - IETG Conference/Hotel Rm
Paid Chk#	038936	MTI DISTRIBUTING INC.	9/27/2018	\$173.83 PW - Fleet Maint & Equip
Paid Chk#	038937	NORTHWEST ASSOCIATED	9/27/2018	\$24.80 General Planning
Paid Chk#	038938	NORTHLAND PEST CONTROL	9/27/2018	\$21.25 Pest Control - Library

Paid Chk# 038939	QUILL CORPORATION	9/27/2018	\$112.94	Operating Supplies
Paid Chk# 038940	R&R CLEANING CONTRACTORS	9/27/2018	\$92.70	Rugs
Paid Chk# 038941	RYAN CONTRACTING INC	9/27/2018	\$600.00	PW - Water Repairs
Paid Chk# 038942	SCOTT COUNTY RECORDER	9/27/2018	\$46.00	Record Encroach Agmt - Moyer/3
Paid Chk# 038943	C/O SHRED RIGHT	9/27/2018	\$15.00	Shredding
Paid Chk# 038944	STERLING CODIFIERS	9/27/2018	\$646.00	Code Book Supplement
Paid Chk# 038945	SUEL PRINTING COMPANY	9/27/2018	\$400.50	Legal Ads
Paid Chk# 038946	WATER CONSERVATION SVC,	9/27/2018	\$294.08	PW - Water Repairs
Paid Chk# 038947	XEROX CORPORATION	9/27/2018	\$536.68	Copier
<b>Total Checks</b>			<b>\$26,594.45</b>	

#### **DIRECT DEPOSITS**

Paid EBil-Weekly ACH 9/20/18	\$31,621.37
<b>Total Checks</b>	<b>\$31,621.37</b>



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Liquor Licenses Renewals
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Sandra Green, City Clerk
<b>REQUESTED ACTION:</b>	Adopt Resolutions 18-51 through 18-61 Approving Liquor Licenses

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

## **BACKGROUND**

Per City Code, each year all establishments serving liquor within the City of Elko New Market are required to renew their liquor licenses. After the liquor licenses are approved by the City, they are submitted to the State of Minnesota for their review and approval.

## **DISCUSSION**

All liquor establishments included in this memorandum have provided complete documentation, along with associated fees, required for renewal of liquor licenses.

Staff has confirmed that the liquor establishments, being recommended for Council approval, have paid their first half property taxes, have no delinquent sales taxes and are current on their City utility bills.

Background Checks have been completed and no violations were noted that would be probable cause not to approve the requested liquor licenses.

## **ACTION REQUESTED**

Motion to adopt Resolutions 18-51 through 18-60 approving Liquor License Renewals for TDF Liquor, The Doublewide, Boulder Pointe Golf Club, Elko Baseball Club, Leo's Bar, The End Zone, New Market Baseball Club, Bullseye, Captain Black's Bar and Grill and Elko Holding Company.

Motion to adopt Resolution 18-61 approving Liquor License renewal for Firehouse Grille.

### **Attachments:**

Resolution 18-51 Approving Liquor License for TDF Liquor  
Resolution 18-52 Approving Liquor Licenses for The Doublewide  
Resolution 18-53 Approving Liquor Licenses for Boulder Pointe Golf Club  
Resolution 18-54 Approving Liquor License for Elko Baseball Club  
Resolution 18-55 Approving Liquor Licenses for Leo's Bar  
Resolution 18-56 Approving Liquor Licenses for The End Zone  
Resolution 18-57 Approving Liquor License for New Market Baseball Club  
Resolution 18-58 Approving Liquor Licenses for Red Eye Enterprises (Bullseye)  
Resolution 18-59 Approving Liquor Licenses for Captain Black's Bar and Grill  
Resolution 18-60 Approving Liquor License for Elko Holding Company  
Resolution 18-61 Approving Liquor License for Firehouse Grille

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-51**

**WHEREAS;** TDF Liquor, Inc. has submitted an application for an Off-Sale liquor license for TDF Liquor, Inc. located at 450 Main Street, Elko New Market, Minnesota, 55054;

**WHEREAS;** TDF Liquor, Inc. meets the requirements for issuance of an Off-Sale Liquor Licenses under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed TDF Liquor, Inc. liquor license application and has determined that TDF Liquor, Inc. meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that the Off-Sale liquor license be issued to TDF Liquor, Inc. for the premises located at 450 Main Street, Elko New Market, Minnesota 55054, contingent upon the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MAREKT  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-52**

**WHEREAS;** Wide Awake Enterprises, LLC, doing business as The Doublewide has submitted an application for an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License for The Doublewide located at 421 St. Joseph Street, Elko New Market, Minnesota, 55054;

**WHEREAS;** The Doublewide meets the requirements for issuance of an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed The Doublewide's liquor license application and has determined that The Doublewide meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License be issued to The Doublewide for the premises located at 421 St. Joseph Street, Elko New Market, Minnesota 55054, contingent upon The Doublewide complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MAREKT  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-53**

**WHEREAS;** Boulder Pointe Golf Club has submitted an application for an On Sale and/or Sunday Liquor License for Boulder Pointe Golf Club located at 9575 Glenborough Drive, Elko New Market, Minnesota, 55054;

**WHEREAS;** Boulder Pointe Golf Club meets the requirements for issuance of an On Sale and/or Sunday Liquor License under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed Boulder Pointe Golf Club's liquor license application and has determined that Boulder Pointe Golf Club meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an On Sale and/or Sunday Liquor License be issued to Boulder Pointe Golf Club for the premises located at 9575 Glenborough Drive, Elko New Market, Minnesota 55054, contingent upon Firehouse Grill complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-54**

**WHEREAS;** the Elko Baseball Club has submitted an application for an On-Sale Non-Intoxicating Beer liquor license for the Elko City Park located at 26518 France Avenue, and Ball Field PID# 21-927007-0, Elko New Market, Minnesota 55020;

**WHEREAS;** the Elko Baseball Club meets the requirements for issuance of an On-Sale Non-Intoxicating Beer liquor license under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed the Elko Baseball Club's liquor license application and has determined that the Elko Baseball Club meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an On-Sale Non-Intoxicating Beer liquor license be issued to the Elko Baseball Club for the premises located at 26518 France Avenue, Ball Field PID #21-927007-0, Elko New Market, Minnesota 55020, contingent upon the Elko Baseball Club complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-55**

**WHEREAS;** Leo's Bar, Inc. has submitted an application for an On-Sale and/or Sunday and Off-Sale Liquor Licenses for Leo's Bar located at 451 Main Street East, Elko New Market, Minnesota, 55054;

**WHEREAS;** Leo's Bar, Inc. meets the requirements for issuance of an On-Sale and/or Sunday and Off-Sale Liquor Licenses under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed Leo's Bar, Inc.'s liquor license application and has determined that Leo's Bar, Inc. meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an On-Sale and/or Sunday and Off-Sale Liquor Licenses be issued to Leo's Bar, Inc. for the premises located at 451 Main Street East, Elko New Market, Minnesota 55054, contingent upon the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-56**

**WHEREAS;** The End Zone, Inc. has submitted an application for an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License for The End Zone located at 10491 260th Street E., Elko New Market, Minnesota, 55020;

**WHEREAS;** The End Zone, Inc. meets the requirements for issuance of an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed The End Zone, Inc. liquor license application and has determined that The End Zone, Inc. meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License be issued to The End Zone, Inc. for the premises located at 10491 260th Street E., Elko New Market, Minnesota 55020, contingent upon, The End Zone, Inc. complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-57**

**WHEREAS;** the New Market Baseball Club has submitted an application for an On-Sale Non-Intoxicating Beer liquor license for the St Nicholas Hillside Park located at 51 Church Street, Elko New Market, Minnesota 55054;

**WHEREAS;** the New Market Baseball meets the requirements for issuance of an On-Sale Non-Intoxicating Beer liquor license under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed the New Market Baseball's liquor license application and has determined that the New Market Baseball meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an On-Sale Non-Intoxicating Beer liquor license be issued to the New Market Baseball for the premises located at 51 Church Street for St. Nicholas Hillside Park, Elko New Market, Minnesota 55054, contingent upon the Elko New Market Baseball complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-58**

**WHEREAS;** Robert Ripley has submitted an application for an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License for Bullseye Saloon located at 9646 Main Street, Elko New Market, Minnesota, 55020;

**WHEREAS;** Bullseye Saloon meets the requirements for issuance of an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed Bullseye Saloon's liquor license application and has determined that Bullseye Saloon meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License be issued to Bullseye Saloon for the premises located at 9646 Main Street, Elko New Market, Minnesota 55020, contingent upon Bullseye Saloon complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MAREKT  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-59**

**WHEREAS;** Sara Mahoney has submitted an application for an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License for Captain Black's Bar and Grill located at 9660 Main Street, Elko New Market, Minnesota, 55020;

**WHEREAS;** Captain Black's Bar and Grill meets the requirements for issuance of an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed Captain Black's Bar and Grill's liquor license application and has determined that Captain Black's Bar and Grill meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an Off Sale Intoxicating Liquor License and an On Sale and/or Sunday Liquor License be issued to Captain Black's Bar and Grill for the premises located at 9660 Main Street, Elko New Market, Minnesota 55020, contingent upon Captain Black's Bar and Grill complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-60**

**WHEREAS;** Elko Holding Company, Inc. has submitted an application for an On Sale and/or Sunday Liquor License for Elko Speedway located at 26350 France Ave, Elko New Market, Minnesota, 55020;

**WHEREAS;** Elko Holding Company, Inc. meets the requirements for issuance of an On Sale and/or Sunday Liquor License under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed Elko Holding Company, Inc. liquor license application and has determined that Elko Holding Company, Inc. meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an On Sale and/or Sunday Liquor License be issued to Elko Holding Company, Inc. for the premises located at 26350 France Ave, Elko New Market, Minnesota 55020, contingent upon Elko Holding Company, Inc. complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

CITY OF ELKO NEW MAREKT  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-61**

**WHEREAS;** Firehouse Grille has submitted an application for an On Sale and/or Sunday Liquor License for Firehouse Grille located at 7875 Old Town Road, Elko New Market, Minnesota, 55054;

**WHEREAS;** Firehouse Grille meets the requirements for issuance of an On Sale and/or Sunday Liquor License under Minnesota Statute Chapter 340A; and

**WHEREAS;** the City has reviewed Firehouse Grille's liquor license application and has determined that Firehouse Grille meets the requirements of the City's Ordinance;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that an On Sale and/or Sunday Liquor License be issued to Firehouse Grille for the premises located at 7875 Old Town Road, Elko New Market, Minnesota 55054, contingent upon Firehouse Grill complying with the following:

1. Complies with Minnesota Statutes Chapter 340A in the sale of liquor;
2. Provide proof of liquor liability insurance required by Minnesota Statutes § 340A.409 and attaching a certificate of insurance to the application listing the City of Elko New Market as an additional insured.
3. That prior to issuance there are no delinquent state, city or county, taxes, assessments or other financial claims of the state, city or county on the premises.
4. The foregoing condition shall not apply where neither the tenant, nor any principal of tenant owns the property on which the premises is located or holds a significant equity interest in the property owner of the premises; provided that applicant provides evidence acceptable to the City to support this exception.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk



# STAFF MEMORANDUM

<b>SUBJECT:</b>	One Day Gambling Permit for N.E.W. Ducks Unlimited
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Sandra Green, City Clerk
<b>REQUESTED ACTION:</b>	Approve Resolution 18-64 One Day Gambling Permit for N.E.W. Ducks Unlimited

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

## **BACKGROUND**

N.E.W. Ducks Unlimited is applying for a one day gambling permit for an event to be held on December 1, 2018 at the Doublewide, 421 St. Joseph Street, Elko New Market, Minnesota.

## **DISCUSSION**

Previously, N.E.W. Ducks Unlimited has been granted One Day Gambling Permits allowing N.E.W. Ducks Unlimited to conduct raffles for fund raising for their organization. N.E.W. Ducks Unlimited is requesting City Council approval to hold a raffle at the Doublewide on December 1, 2018. This is a regular fund raising event for the N.E.W. Ducks Unlimited. The City has received no complaints regarding events conducting lawful gambling by the N.E.W. Ducks Unlimited.

N.E.W. Ducks Unlimited has submitted all required documentation and associated fees.

Staff would recommend Council approval of the One Day Gambling Permit for N.E.W. Ducks Unlimited as this is a regular fund raiser for the organization.

## **Attachment:**

Resolution 18-64 Approving a One Day Gambling Permit for N.E.W. Ducks Unlimited

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**RESOLUTION NO. 18-64**

**WHEREAS;** N.E.W. Ducks Unlimited, Elko New Market, Minnesota has submitted an application for a gambling permit for a one day benefit event, located at The Doublewide, 421 St. Joseph Street, Elko New Market, Minnesota, 55054;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Elko New Market, Minnesota, that a gambling permit be issued to N.E.W. Ducks Unlimited for the premises located at The Doublewide, 421 St. Joseph Street, Elko New Market, Minnesota 55054, for a benefit (December 1, 2018). Type of gambling activity the organization will be conducting is Raffles. This is a non-profit organization and previous applications are on file with the Gambling Control Board.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

By: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Adoption of Alternate Water Rate Structure for Irrigation of Newly Installed Sod
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Sandra Green, City Clerk
<b>REQUESTED ACTION:</b>	Adopt Ordinance No. 174 Amending Title 9, Chapter 1 of Elko New Market City Code Concerning Water Rates for Irrigation of New Sod and Adopt Ordinance No. 175 Amending City of Elko New Market Ordinance No. 165 Concerning the Schedule of Fees

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

**BACKGROUND:**

Staff received inquiries from Kevin Michael (K Michael Homes) and Chad & Kimberly Haugen (new residents) regarding large water bills received due to aggressively irrigating their newly installed sod. Both individuals requested Staff bring the possibility of establishing a policy to provide relief for consumers irrigating new sod to the City Council for their review and action.

**DISCUSSION**

At the August 9, 2018 City Council Meeting, the City Council directed the creation of a separate modified rate structure for residents irrigating their newly installed sod.

The City Council supported the modified rate structure for residents irrigating their newly installed sod contingent on the following criteria:

- The homeowner/builder is required to complete and submit a New Sod Installation Modified Rate Structure Permit Application to the City prior to the billing for the month the new sod installation irrigation occurred.
- The Permit would only allow the homeowner/builder to apply for and receive up two (2) months of modified rate structure for irrigation of newly installed sod.

To allow for the addition of this new alternative rate structure, Staff is requesting Council adoption of Ordinance No. 174 amending Section 9-1-7 of Elko New Market City Code to add Subsection F to read as follows:

*F. NEW LAWN IRRIGATION: Within one year following issuance of a certificate of occupancy (or temporary certificate of occupancy) for a newly constructed home, residential properties may be billed at a modified rate structure as provided in the City’s fee schedule for the establishment of a new lawn. In order for the modified rate structure to apply, the property owner must submit a notice to the City that new sod will be installed. The modified rate structure will apply for the two billing months following the month that the City receives notice concerning the installation of new sod. The modified rate structure may be applied only once for each residential property following construction of a new home on the property.*

This ordinance would take effect on January 1, 2019.

Staff is recommending the Council adopt Ordinance No.175 approving the following alternative rate structure for irrigation of newly installed sod to the Schedule of Fees. These changes would not become effective until January 1, 2019.

<b>UTILITY FEES *</b>	
<b>Domestic Use Customers</b>	
Modified Rate Structure – Irrigation of newly installed sod	
Water Usage Rate (Tier One) - Typical Account1 (0 to 40,000 Gallons/ ERU/ Month)	\$3.41/thousand gallons
Water Usage Rate (Tier Two) - Typical Account1 (40,001 to 50,000 Gallons/ ERU/ Month)	\$9.87/thousand gallons
Water Usage Rate (Tier Three) - Typical Account1 (Over 50,001 Gallons/ ERU/ Month)	\$19.74/thousand gallons

Please contact the City Clerk if you have any questions relating to this memorandum.

Attachments:

Ordinance No. 174 Amending Title 9, Chapter 1 of Elko New Market City Code Concerning Water Rates for Irrigation of New Sod

Ordinance No. 175 Amending City of Elko New Market Ordinance No. 165 Concerning the Schedule of Fees

**ORDINANCE NO. 174**

**CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA**

**AN ORDINANCE AMENDING TITLE 9, CHAPTER 1 CONCERNING  
WATER RATES FOR IRRIGATION OF A NEWLY ESTABLISHED LAWN**

THE CITY COUNCIL OF THE CITY OF ELKO NEW MARKET ORDAINS:

**SECTION 1.** Section 9-1-7 of the Elko New Market City Code is hereby amended to add a new subsection F read as follows:

- F. **NEW LAWN IRRIGATION:** Within one year following issuance of a certificate of occupancy (or temporary certificate of occupancy) for a newly constructed home, residential properties may be billed at a modified rate structure as provided in the City's fee schedule for the establishment of a new lawn. In order for the modified rate structure to apply, the property owner must submit a notice to the City that new sod will be installed. The modified rate structure will apply for the two billing months following the month that the City receives notice concerning the installation of new sod. The modified rate structure may be applied only once for each residential property following construction of a new home on the property.

**Section 2. Effective Date.** This ordinance shall take effect on January 1, 2019.

**PASSED AND ADOPTED** this \_\_\_ day of September, 2018, by the City Council of the City of Elko New Market.

**CITY OF ELKO NEW MARKET**

**BY:** \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

ORDINANCE NO.175

CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA

**AN ORDINANCE AMENDING CITY OF ELKO NEW MARKET  
ORDINANCE NO. 165, CONCERNING THE SCHEDULE OF FEES**

**WHEREAS**, the City’s fee schedule for 2018 is set forth under City of Elko New Market Ordinance No.165; and,

**WHEREAS**, the City desires to amend the fee schedule to provide a modified rate structure for irrigation of newly installed sod to allow increased usage at the lowest tier level for installation of new sod; and

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ELKO NEW MARKET ORDAINS:**

**Section 1.** The Utility Fees section for Domestic Use Customers of City of Elko New Market Ordinance No. 165 is hereby amended by adding the following:

Modified Rate Structure – Irrigation of newly installed sod	
Water Usage Rate (Tier One) - Typical Account <sup>1</sup> (0 to 40,000 Gallons/ ERU/ Month)	\$3.41/thousand gallons
Water Usage Rate (Tier Two) - Typical Account <sup>1</sup> (40,001 to 50,000 Gallons/ ERU/ Month)	\$9.87/thousand gallons
Water Usage Rate (Tier Three) - Typical Account <sup>1</sup> (Over 50,001 Gallons/ ERU/ Month)	\$19.74/thousand gallons

**Section 2. Effective Date.** This Ordinance shall take effect on January 1, 2019.

**ADOPTED** this 27<sup>th</sup> day of September, 2018, by the City Council of the City of Elko New Market.

**CITY OF ELKO NEW MARKET**

BY: \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Dakota Acres 1st Addition PUD, Preliminary & Final Plat
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Renee Christianson, Community Development Specialist
<b>REQUESTED ACTION:</b>	Adopt Ordinance No. 176 Rezoning Property to Planned Unit Development District Zoning for Dakota Acres 1 <sup>st</sup> Addition Adopt Resolution No. 18-50 Approving the Preliminary and Final Plat and Development Contract for Dakota Acres 1 <sup>st</sup> Addition

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

**BACKGROUND**

Syndicated Properties purchased a 2.17 acre property that had previously been approved for construction of townhome units. Syndicated has submitted an application to the City for rezoning and plat approval associated with a new townhome development that they would now like to construct on the property. The new plat is Dakota Acres 1<sup>st</sup> Addition, which is a continuation of the existing townhome development to the north.

**DISCUSSION:**

Planning Commission Recommendation Based on information provided to the Planning Commission, the recommendations of City Staff, public comment received and discussion at the June 26<sup>th</sup> meeting, the Planning Commission has unanimously recommended approval of the request to rezone the property to Planned Unit Development and the request for preliminary plat approval of Dakota Acres 1<sup>st</sup> Addition containing 28 lots on 2.17 acres, as proposed by Syndicated Properties for the following reasons:

- 1) The proposed development of 28 units on 2.71 acres meets the intent of the Comprehensive Plan Residential Mixed Use land use density objectives, being 12.9 units per acre.
- 2) The property had previously been approved for townhome development and the proposed development is very similar, in terms of site layout and land use, as the previously approved development.
- 3) The proposed development is compatible with the adjacent land uses.

And noting that the lots shall be subject to the requirements of the R-4 High Density Residential Zoning District except as follows:

	<b>R4 District Requirements</b>	<b>Approved for Dakota Acres 1<sup>st</sup> Addition</b>
<b>Permitted Uses</b>	Multiple Family Dwellings Containing more than 8 units	Multiple Family Dwellings containing less than 8 units, as depicted on plans dated 6/21/18
<b>Front setback to curb of private street</b>	30'	3' for single unit building 20' for all 4-unit and 7-unit buildings
<b>Setback between buildings</b>	20'	10' to 55' (25' average) as depicted on plans dated 6/21/18
<b>Setback to periphery property lines</b>	30'	5' along west side, as depicted on plans dated 6/21/18
<b>Setback to major collector street</b>	50'	30'
<b>Easements</b>	10' along perimeter and 5' along interior lot lines	Not required along western property line or interior lot lines
<b>Building Design/Exterior Finish 11-25D-8</b>	Minimum 25% of all building facades shall have an exterior of brick, stucco or	Stone on front and sides of buildings, as depicted on proposed building elevations dated 11/19/17.
<b>Garage Stall Area &amp; Width</b>	Attached garage of minimum 540 sq ft & minimum width of 20'	Attached garages of 418 sq ft minimum & 19' minimum width

And noting the following improved subdivision design elements:

- 1) The proposed open space and recreation areas designated for the project residents will exceed the minimum area required by City Code.
- 2) The landscaping plan exceeds the minimum requirements of City Code by providing more than the minimum required number of trees, and also provides for an aesthetically pleasing variety of trees and plantings throughout the site.

And with the following conditions:

- 1) PUD and Preliminary plat approval is granted in accordance with the following drawings: Preliminary Plat drawing prepared by Stantec and dated 6/20/18, Preliminary Grading & Construction plans containing 7 sheets prepared by Larsen Engineering and dated 6/21/18, Landscaping plan prepared by RHA Architects and dated 8/15/16, Building elevations and sample floor plans prepared by RHA Architects and dated 11/19/17 (7-unit, 4-unit and 1-unit buildings).
- 2) The civil plans must address comments of City staff as depicted on the drawing dated 6/21/18 and the landscape plan must be corrected to address comments of City staff as depicted on drawing dated 6/20/18, both on file with the Elko New Market Community Development office.
- 3) Syndicated Properties must enter into a Developer's Agreement with the City of Elko New Market at the time of final plat approval.
- 4) The proposed development must be added to the Dakota Acres Townhome Association, or a new Townhome Association must be formed. If a new association is formed, it must work out an agreement for access through the two existing private drives (Oriole and Cardinal Streets) with the Dakota Acres Townhome Association.
- 5) The applicant must comply with the recommendations of the City Engineer, Public Works Director and City Attorney.
- 6) A park dedication fee in lieu of land dedication is being required.
- 7) An in-ground irrigation system is required.
- 8) Additional access to James Parkway and Dakota Avenue will not be permitted.
- 9) Drainage and utility easements must be provided for the sanitary sewer and water mains running through the site.
- 10) Ground level patios must be provided for all townhome units. Patios shall not exceed 8' x 8' in size and may not encroach into adjacent properties, except that they may encroach into the common area outlot subject to the same being permitted by the homeowners association. Privacy fences constructed of wood, vinyl or brick and of consistent design shall be provided between rear yard patio areas prior to issuance of a certificate of occupancy. 3 and 4 season porch additions may not be added to the townhome units.
- 11) Developer shall work with the Elko New Market Postmaster to find an acceptable location within the development for mailbox banks. Mailboxes shall be moved off of James Parkway.
- 12) Townhome buildings shall contain not less than three earthtone colors. Adjacent townhome buildings on the same side of the street shall not be of identical color.
- 13) A lighting plan meeting the requirements of City Code must be submitted for review by City staff. The lighting plan shall utilize the Domus style fixture or visually equivalent.
- 14) Garbage receptacles shall be stored within garages or fully screened from view.

- 15) The developer shall be responsible for the removal of the Oriole Street access (to James Parkway) and restoration of area, as approved by the City Engineer.

And noting that:

- 1) The conditions contained in the Dakota Acres Development Contracts, recorded in the Office of the Scott County Recorder as Documents #736584 and #771917 are released upon rezoning of the property to PUD and no longer apply.

Staff Recommendation. Following the recommendations of the Planning Commission on June 26, 2018, the applicant submitted revised construction plans which address the primary conditions recommended by the Planning Commission and staff. Any remaining conditions have been incorporated into the attached Ordinance and Development Contract. Below is a summary of items contained in the development contract:

- Park fee of \$56,000
- Stormwater trunk fee of \$7,612.10
- Sanitary sewer trunk fee of \$113,568.00
- Water trunk fee of \$101,220.00
- Street light fee of \$1,458.24
- Security required in the amount of \$470,761.59 to guarantee construction of a private streets, water, sanitary sewer and stormsewer

The City Engineer and Planner have completed a review of the current application and are recommending approval of the request.

**CITY ATTORNEY RECOMMENDATION:**

The City Attorney has reviewed the Planning Commission recommendation, Draft Ordinance #176 Rezoning the property to PUD Zoning, Resolution #18-50 Approving the Preliminary and Final Plat of Dakota Acres 1<sup>st</sup> Addition, and the Development Contract, and has recommended approval of the documents as presented.

**BUDGET IMPACT:**

There is currently no budget impact for this item, other than the cost of City staff time. An escrow is in place to cover the cost of consultant expenses.

**REQUESTED ACTION:**

Motion to:

- Approve Ordinance No. 176 Rezoning the Property to PUD Zoning
- Adopt Resolution No. 18-50 Approving the Preliminary and Final Plat and Development Contract for Dakota Acres 1<sup>st</sup> Addition.

**Attachments:**

(Draft) Ordinance No.176

(Draft) Resolution No.18-50

(Draft) Development Contract for Dakota Acres 1<sup>st</sup> Addition

Approved Plans, Dakota Acres 1<sup>st</sup> Addition dated September 4, 2018

Planning Commission Staff Report dated June 26, 2018

**ORDINANCE NO. 176**

**CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA**

**AN ORDINANCE AMENDING AND RESTATING THE PLANNED UNIT  
DEVELOPMENT DISTRICT ZONING OF CERTAIN PROPERTY WITHIN  
DAKOTA ACRES 1<sup>ST</sup> ADDITION**

THE CITY COUNCIL OF THE CITY OF ELKO NEW MARKET ORDAINS:

**Section 1.**     **Legal Description.** The following described property located within the City of Elko New Market, Scott County, Minnesota is hereby zoned PUD, Planned Unit Development:

Outlot C, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota, except that part lying westerly of the east line of Outlot D, said Dakota Acres and it's southerly extension.

AND

That part of Outlot B, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota, described as follows: Commencing at the most northerly corner of said Outlot B; thence South 00 degrees 24 minutes 49 seconds East, assumed bearing, along a west line of said Outlot B, a distance of 245.75 feet to a southwest corner of said Outlot B; thence north 89 degrees 35 minutes 11 seconds East, along a south line of said Outlot B, a distance of 6.02 feet to the point of beginning; thence North 00 degrees 24 minutes 46 seconds West, a distance of 31.56 feet; thence North 89 degrees 35 minutes 11 seconds East, a distance of 45.00 feet; thence South 00 degrees 24 minutes 49 seconds East, a distance of 31.56 feet to said south line of Outlot B; thence South 89 degrees 35 minutes 11 seconds West, along said south line of Outlot B, a distance of 45.00 feet to the point of beginning.

AND

The south 20.50 feet of Lot 1, Block 2, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota and that part of Outlot B, said Dakota Acres, described as follows: Beginning at the southeast corner of said Lot 1; thence South 00 degrees 23 minutes 54 seconds West, along the southerly extension of the east line of said Lot 1, a distance of 9175 feet; thence South 31 degrees 53 minutes 32 seconds West, a distance of 892 feet to a southwest corner of said Outlot B; thence North 89 degrees 36 minutes 06 seconds West, along a south line of said Outlot B, a distance of 40.34 feet; thence North 00 degrees 23 minutes 54 seconds West, a distance of 17.36 feet to the southwest corner of said Lot 1; thence South 89 degrees 36 minutes 06 seconds East, along the south line of said Lot 1, a distance of 45.00 feet to the point of beginning.

("Property")

**Section 2. PUD Zoning.** The City hereby amends the Planned Unit Development District, PUD for the Property, in its entirety, as provided in this Section. The Property shall be subject to the requirements of the R-4 High Density Residential District except as follows:

	<b>R4 District Requirements</b>	<b>Approved for Dakota Acres 1<sup>st</sup> Addition</b>
<b>Permitted Uses</b>	Multiple Family Dwellings Containing more than 8 units	Multiple Family Dwellings containing less than 8 units, as depicted on plans dated 6/21/18
<b>Front setback to curb of private street</b>	30'	3' for single unit building 20' for all 4-unit and 7-unit buildings
<b>Setback between buildings</b>	20'	10' to 55' (25' average) as depicted on plans dated 6/21/18
<b>Setback to periphery property lines</b>	30'	5' along west side, as depicted on plans dated 6/21/18
<b>Setback to major collector street</b>	50'	30'
<b>Easements</b>	10' along perimeter and 5' along interior lot lines	Not required along western property line or interior lot lines
<b>Building Design/Exterior Finish 11-25D-8</b>	Minimum 25% of all building facades shall have an exterior of brick, stucco or stone	Stone on front and sides of buildings, as depicted on proposed building elevations dated 11/19/17.
<b>Garage Stall Area &amp; Width</b>	Attached garage of minimum 540 sq ft & minimum width of 20'	Attached garages of 418 sq ft minimum & 19' minimum width

**B. Development Plans.** The plat shall be developed in accordance with the following plans. The plans shall not be attached.

Plan A – Dakota Acres 1<sup>st</sup> Addition Construction Plans prepared by Larson Engineering containing seven sheets and dated 9/4/18.

Plan B – Landscaping Plan prepared by RHA Architects, Inc containing one sheet and dated 8/29/18.

**C. Regulations.** The PUD must be maintained and comply with the following conditions:

1. **Patios.** Ground level patios must be provided for all townhome units. Patios shall not exceed 8' x 8' in size and may not encroach into adjacent properties, except that they may encroach into the common area outlot subject to the same being permitted by the homeowners association. Privacy fences constructed of wood, vinyl or brick and of consistent design shall be provided between rear yard patio areas prior to issuance of a certificate of occupancy. Three and four season porch additions may not be added to the townhome units.

2. Mailboxes. Developer shall work with the Elko New Market Postmaster to find an acceptable location within the development for mailbox banks. Mailboxes shall be moved off of James Parkway.
3. Exterior Finishes. Townhome buildings shall contain not less than three earth-tone colors. Adjacent townhome buildings on the same side of the street shall not be identical in color.
4. Garbage Receptacles. Garbage receptacles shall be stored within garages or fully screened from view.

**Section 3.** Section 11-28C-21 of the Elko New Market City Code is amended to add the following:

PUD-7: Dakota Acres 1<sup>st</sup> Addition, Ordinance No. 176

**Section 4. Zoning Map.** The zoning map of the City of Elko New Market shall not be republished to show the aforesaid zoning, but the Clerk shall appropriately mark the zoning map on file in the Clerk's Office for the purpose of indicating the rezoning hereinabove provided for in this ordinance, and all of the notations, references, and other information shown thereon are hereby incorporated by reference and made a part of this ordinance.

**Section 5. Effective Date.** This ordinance shall be effective upon its passage by the City Council.

**PASSED AND ADOPTED** this 27<sup>th</sup> day of September, 2018, by the City Council of the City of Elko New Market.

**CITY OF ELKO NEW MARKET**

**BY:** \_\_\_\_\_  
Robert Crawford, Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green, City Clerk

**CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA**

**RESOLUTION NO. 18-50**

**RESOLUTION  
GRANTING APPROVAL OF THE PRELIMINARY AND FINAL PLAT AND  
DEVELOPMENT CONTRACT FOR  
DAKOTA ACRES 1<sup>ST</sup> ADDITION**

**WHEREAS**, Syndicated Properties LLC, a Minnesota limited liability company (“Developer”) is the fee owner of real property in the County of Scott legally described as follows:

Outlot C, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota, except that part lying westerly of the east line of Outlot D, said Dakota Acres and it’s southerly extension.

AND

That part of Outlot B, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota, described as follows: Commencing at the most northerly corner of said Outlot B; thence South 00 degrees 24 minutes 49 seconds East, assumed bearing, along a west line of said Outlot B, a distance of 245.75 feet to a southwest corner of said Outlot B; thence north 89 degrees 35 minutes 11 seconds East, along a south line of said Outlot B, a distance of 6.02 feet to the point of beginning; thence North 00 degrees 24 minutes 46 seconds West, a distance of 31.56 feet; thence North 89 degrees 35 minutes 11 seconds East, a distance of 45.00 feet; thence South 00 degrees 24 minutes 49 seconds East, a distance of 31.56 feet to said south line of Outlot B; thence South 89 degrees 35 minutes 11 seconds West, along said south line of Outlot B, a distance of 45.00 feet to the point of beginning.

AND

The south 20.50 feet of Lot 1, Block 2, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota and that part of Outlot B, said Dakota Acres, described as follows: Beginning at the southeast corner of said Lot 1; thence South 00 degrees 23 minutes 54 seconds West, along the southerly extension of the east line of said Lot 1, a distance of 9175 feet; thence South 31 degrees 53 minutes 32 seconds West, a distance of 892 feet to a southwest corner of said Outlot B; thence North 89 degrees 36 minutes 06 seconds West, along a south line of said Outlot B, a distance of 40.34 feet; thence North 00 degrees 23 minutes 54 seconds West, a distance of 17.36 feet to the southwest corner of said Lot 1; thence South 89 degrees 36 minutes 06 seconds East, along the south line of said Lot 1, a distance of 45.00 feet to the point of beginning. (“Property”).

**WHEREAS**, Developer is requesting preliminary and final plat approval of Dakota Acres 1<sup>st</sup> Addition consisting of twenty-eight lots and one outlot on 2.17 gross acres, which is located on the above real estate; and,

**WHEREAS**, the Elko New Market Planning Commission held a public hearing on June 26, 2018, preceded by the required notice;

**WHEREAS**, the Planning Commission unanimously recommended approval of the application for preliminary plat subject to adopted conditions and findings; and,

**WHEREAS**, the City Engineer and City Planner have recommended approval of the Development Contract, Preliminary and Final Plat for Dakota Acres 1<sup>st</sup> Addition, under the conditions provided herein; and

**WHEREAS**, City Council has reviewed the Development Contract and Preliminary and Final Plat for Dakota Acres 1<sup>st</sup> Addition; and finds:

- 1) The proposed development of 28 units on 2.71 acres meets the intent of the Comprehensive Plan Residential Mixed Use land use density objectives, being 12.9 units per acre.
- 2) The proposed plat complies with requirements of City Code Title 12, Subdivision Regulations.
- 3) The property had previously been approved for townhome development and the proposed development is very similar, in terms of site layout and land use, as the previously approved development.
- 4) The proposed development is compatible with the adjacent land uses.

**NOW, THEREFORE, BE IT RESOLVED** that the Preliminary Plat for Dakota Acres 1<sup>st</sup> Addition is approved subject to the following conditions:

- 1) Implementation of the recommendations listed in the June 26, 2018 planning report.
- 2) And with the following conditions:
  - a. PUD and Preliminary plat approval is granted in accordance with the following drawings: Preliminary Plat drawing prepared by Stantec and dated 6/20/18, Preliminary Grading & Construction plans containing 7 sheets prepared by Larsen Engineering and dated 6/21/18, Landscaping plan prepared by RHA Architects and dated 8/15/16, Building elevations and sample floor plans prepared by RHA Architects and dated 11/19/17 (7-unit, 4-unit and 1-unit buildings).
  - b. The civil plans must address comments of City staff as depicted on the drawing dated 6/21/18 and the landscape plan must be corrected to address comments of City staff as depicted on drawing dated 6/20/18, both on file with the Elko New Market Community Development office.
  - c. Syndicated Properties must enter into a Developer's Agreement with the City of Elko New Market at the time of final plat approval.
  - d. The proposed development must be added to the Dakota Acres Townhome Association, or a new Townhome Association must be formed. If a new association is formed, it must work out an agreement for access through the two existing private drives (Oriole and Cardinal Streets) with the Dakota Acres Townhome Association.
  - e. The applicant must comply with the recommendations of the City Engineer, Public Works Director and City Attorney.
  - f. A park dedication fee in lieu of land dedication is being required.
  - g. An in-ground irrigation system is required.
  - h. Additional access to James Parkway and Dakota Avenue will not be permitted.
  - i. Drainage and utility easements must be provided for the sanitary sewer and water main lines running through the site.
  - j. Ground level patios must be provided for all townhome units. Patios shall not exceed 8' x 8' in size and may not encroach into adjacent properties, except that they may encroach into the common area outlot subject to the same being permitted by the homeowners association. Privacy fences constructed of wood, vinyl or brick and of consistent design shall be provided between rear yard patio areas prior to issuance of a certificate of occupancy. 3 and 4 season porch additions may not be added to the townhome units.

- k. Developer shall work with the Elko New Market Postmaster to find an acceptable location within the development for mailbox banks. Mailboxes shall be moved off of James Parkway.
- l. Townhome buildings shall contain not less than three earthtone colors. Adjacent townhome buildings on the same side of the street shall not be of identical color.
- m. A lighting plan meeting the requirements of City Code must be submitted for review by City staff. The lighting plan shall utilize the Domus style fixture or visually equivalent.
- n. Garbage receptacles shall be stored within garages or fully screened from view.
- o. The developer shall be responsible for the removal of the Oriole Street access (to James Parkway) and restoration of area, as approved by the City Engineer.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Dakota Acres 1<sup>st</sup> Addition final plat and Development Contract are hereby approved, subject to the Developer's execution of the development contract, payment of all required fees and providing the security required under the terms of the Development Contract.

**PASSED, ADOPTED AND APPROVED** this 27<sup>th</sup> day of September, 2018.

**CITY OF ELKO NEW MARKET**

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Robert Crawford, Mayor

**ATTEST:**

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Sandra Green, Deputy City Clerk

(reserved for recording information)

## DEVELOPMENT CONTRACT

### *DAKOTA ACRES 1<sup>ST</sup> ADDITION*

**CONTRACT** dated \_\_\_\_\_, 2018, by and between the **CITY OF ELKO NEW MARKET**, a Minnesota municipal corporation ("City"), and **SYNDICATED PROPERTIES LLC**, a Minnesota limited liability company (the "Developer").

**1. REQUEST FOR PLAT APPROVAL.** The Developer has asked the City to approve a plat for **DAKOTA ACRES 1<sup>ST</sup> ADDITION** (referred to in this Contract as the "plat"). The land is situated in the County of Scott, State of Minnesota, and is legally described in Exhibit A attached hereto.

**2. CONDITIONS OF PLAT APPROVAL.** The City hereby approves the plat on condition that the Developer enter into this Contract, furnish the security required by it, and record the plat with the County Recorder or Registrar of Titles within 90 days after the City Council approves the final plat.

**3. RIGHT TO PROCEED.** Within the plat or land to be platted, the Developer may not grade or otherwise disturb the earth or remove trees, unless a grading permit has been approved by the City Engineer following approval of a preliminary plat by the City Council, construct sewer lines, water lines, streets, utilities, public or private improvements, or any buildings until all the following conditions have been satisfied: 1) this agreement has been fully executed by both parties and filed with the City Clerk, 2) the necessary security has been received by the City, 3) the necessary insurance for the Developer and its

construction contractors has been received by the City, and 4) the plat has been recorded with the Scott County Recorder or Registrar of Titles' office.

**4. PHASED DEVELOPMENT.** If the plat is a phase of a multi-phased preliminary plat, the City may refuse to approve final plats of subsequent phases if the Developer has breached this Contract and the breach has not been remedied. Development of subsequent phases may not proceed until Development Contracts for such phases are approved by the City. Park dedication charges referred to in this Contract are not being imposed on outlots, if any, in the plat that are designated in an approved preliminary plat for future subdivision into lots and blocks. Such charges will be calculated and imposed when the outlots are final platted into lots and blocks.

**5. PRELIMINARY PLAT STATUS.** If the plat is a phase of a multi-phased preliminary plat, the preliminary plat approval for all phases not final platted shall lapse and be void unless final platted into lots and blocks, not outlots, within 2 years after preliminary plat approval.

**6. CHANGES IN OFFICIAL CONTROLS.** For 2 years from the date of this Contract, no amendments to the City's Comprehensive Plan or official controls shall apply to or affect the use, development density, lot size, lot layout or dedications of the approved plat unless required by state or federal law or agreed to in writing by the City and the Developer. Thereafter, notwithstanding anything in this Contract to the contrary, to the full extent permitted by state law, the City may require compliance with any amendments to the City's Comprehensive Plan, official controls, platting or dedication requirements enacted after the date of this Contract.

**7. DEVELOPMENT PLANS.** The plat shall be developed in accordance with the following plans. The plans shall not be attached to this Contract. With the exception of Plans A, B, and D the plans may be prepared, subject to the City Engineer's approval, after entering the Contract, but before commencement of any work in the plat. The City Engineer may approve minor amendments to Plan B without City Council approval. If the plans vary from the written terms of this Contract, the written terms shall control. The plans are:

Plan A - Plat

Plan B - Final Grading, Drainage, and Erosion Control Plan, prepared by Larson Engineering, dated 9/4/18

Plan C - Plans and Specifications for Public Improvements, prepared by Larson Engineering, dated 9/4/18

Plan D - Landscape Plan, prepared by RHA Architects, dated 8/29/18

**8. IMPROVEMENTS.** The Developer shall install and pay for the following:

- A. Sanitary Sewer System
- B. Water System
- C. Storm Sewer System
- D. (Private) Streets
- E. Concrete Curb and Gutter
- F. Street Lights
- G. Site Grading, Stormwater Treatment/Infiltration Basins, and Erosion Control
- H. Underground Utilities
- I. Setting of Iron Monuments
- J. Surveying and Staking
- K. Retaining Walls

The improvements shall be installed in accordance with the City subdivision ordinance; City standard specifications and details for utility and street construction; the City Engineering Manual; and any other ordinances including Section 11-11-3 of the City Code concerning erosion and drainage and Section 5-5-2(C) restricting time frames for grading, construction activity, and the use of power equipment. The Developer shall submit plans and specifications which have been prepared by a competent registered professional engineer to the City for approval by the City Engineer. The Developer shall instruct its engineer to provide adequate field inspection personnel to assure an acceptable level of quality control to the extent that the Developer's engineer will be able to certify that the construction work meets the approved City standards as a condition of City acceptance. In addition, the City may, at the City's discretion and at the Developer's expense, have one or more City inspectors and a soil engineer inspect the work on a full or part-

time basis. The Developer, its contractors and subcontractors, shall follow all instructions received from the City's inspectors. The Developer's engineer shall provide for on-site project management. The Developer's engineer is responsible for design changes and contract administration between the Developer and the Developer's contractor. The Developer or its engineer shall schedule a pre-construction meeting at a mutually agreeable time at the City with all parties concerned, including the City staff, to review the program for the construction work. Within thirty (30) days after the completion of the improvements and before the security is released, the Developer shall supply the City with a complete set of reproducible "as constructed" plans and an electronic file of the "as constructed" plans in an AutoCAD .DWG file or a .DXF file, and a PDF format, all prepared in accordance with City standards.

In accordance with Minnesota Statutes 505.021, the final placement of iron monuments for all lot corners must be completed before the applicable security is released. The Developer's surveyor shall also submit a written notice to the City certifying that the monuments have been installed following site grading, utility and street construction.

**9. PERMITS.** The Developer shall obtain or require its contractors and subcontractors to obtain all necessary permits, which may include:

- A. Minnesota Department of Health for Watermains
- B. MPCA NPDES Permit for Construction Activity
- C. MPCA for Sanitary Sewer and Hazardous Material Removal and Disposal
- D. DNR for Dewatering
- E. City of Elko New Market for Building Permits
- F. MCES for Sanitary Sewer Connections
- G. City of Elko New Market for Retaining Walls

**10. DEWATERING.** Due to the variable nature of groundwater levels and stormwater flows, it will be the Developer's and the Developer's contractors and subcontractors responsibility to satisfy themselves with regard to the elevation of groundwater in the area and the level of effort needed to perform dewatering and storm flow routing operations. All dewatering shall be in accordance with all

applicable county, state, and federal rules and regulations. DNR regulations regarding appropriations permits shall also be strictly followed.

**11. TIME OF PERFORMANCE.** The Developer shall install all required public improvements by November 30, 2019, with the exception of the final wear course of asphalt on streets. The Developer may, however, request an extension of time from the City. If an extension is granted, it shall be conditioned upon updating the security posted by the Developer to reflect cost increases and the extended completion date.

**12. LICENSE.** The Developer hereby grants the City, its agents, employees, officers and contractors a license to enter the plat to perform all work and inspections deemed appropriate by the City in conjunction with plat development.

**13. EROSION CONTROL.** Prior to initiating site grading, the erosion control plan, Plan B, shall be implemented by the Developer and inspected and approved by the City. The City may impose additional erosion control requirements if they would be beneficial. All areas disturbed by the grading operations shall be stabilized per the MPCA Stormwater Permit for Construction Activity. Seed shall be in accordance with the City's current seeding specification which may include temporary seed to provide ground cover as rapidly as possible. All seeded areas shall be fertilized, mulched, and disc anchored as necessary for seed retention. The parties recognize that time is of the essence in controlling erosion. If the Developer does not comply with the MPCA Stormwater Permit for Construction Activity or with the erosion control plan and schedule or supplementary instructions received from the City, the City may take such action as it deems appropriate to control erosion. The City will endeavor to notify the Developer in advance of any proposed action, but failure of the City to do so will not affect the Developer's and City's rights or obligations hereunder. If the Developer does not reimburse the City for any cost the City incurred for such work within ten (10) days, the City may draw down the letter of credit to pay any costs. No development, utility or street construction will be allowed and no building permits will be issued unless the plat is in full compliance with the approved erosion control plan.

**14. GRADING.** The plat shall be graded in accordance with the approved grading development and erosion control plan, Plan "B". The plan shall conform to City of Elko New Market specifications. Within

thirty (30) days after completion of the grading and before the City approves individual building permits (except 2 model home permits on lots pursuant as provided herein), the Developer shall provide the City with an “as constructed” grading plan certified by a registered land surveyor or engineer that all storm water treatment/infiltration basins and swales, have been constructed on public easements or land owned by the City. The “as constructed” plan shall include field verified elevations of the following: a) cross sections of storm water treatment/infiltration basins; b) location and elevations along all swales, wetlands, wetland mitigation areas if any, locations and dimensions of borrow areas/stockpiles, and installed “conservation area” posts; and c) lot corner elevations and house pads, and all other items listed in City Code. The City will withhold issuance of building permits until the approved certified grading plan is on file with the City and all erosion control measures are in place as determined by the City Engineer. The Developer certifies to the City that all lots with house footings placed on fill have been monitored and constructed to meet or exceed FHA/HUD 79G specifications. The soils observation and testing report, including referenced development phases and lot descriptions, shall be submitted to the Building Official for review prior to the issuance of building permits.

**15. CLEAN UP.** The Developer shall clean dirt and debris from streets that has resulted from construction work by the Developer, home builders, subcontractors, their agents or assigns. Prior to any construction in the plat, the Developer shall identify in writing a responsible party and schedule for erosion control, street cleaning, and street sweeping.

**16. OWNERSHIP OF IMPROVEMENTS.** Upon completion of the work and construction required by this Contract and final acceptance by the City, the improvements lying within public easements shall become City property without further notice or action, except for private roads located within City utility easements.

**17. CITY ENGINEERING ADMINISTRATION, CONSTRUCTION OBSERVATION AND RECORD DRAWINGS.** The Developer shall pay for city engineering and construction observation performed by the City Engineer, that shall include part or full time inspection of proposed public utilities and street construction, and City engineering administration, that will include monitoring of construction

observation, consultation with Developer and its engineer on status or problems regarding the project, coordination for final inspection and acceptance, project monitoring during the warranty period, and processing of requests for reduction in security, and for preparation of record drawings. Fees for this service shall be on hourly rates, with a total estimated fee of \$5,000..

**18. STORM WATER AREA CHARGE.** Dakota Acres 1<sup>st</sup> Addition is subject to a storm sewer area charge of \$7,612.10. The area charge is calculated as follows:

$$2.17 \text{ acres} \times \$3,507.88/\text{acre} = \mathbf{\$7,612.10}$$

The Developer shall pay the storm sewer area trunk fee in cash at the time of final plat approval.

**19. SANITARY SEWER TRUNK FEE.** Dakota Acres 1<sup>st</sup> Addition is subject to a sanitary sewer trunk fee of \$113,568.00. The charge is based on the number of units within the plat and is calculated as follows:

$$28 \text{ dwelling units} \times \$4,056.00/\text{unit} = \mathbf{\$113,568.00}$$

The Developer must pay the sanitary sewer trunk fee in cash at the time of final plat approval.

**20. WATER TRUNK FEE.** Dakota Acres 1<sup>st</sup> Addition is subject to a water trunk fee of \$101,220.00. The charge is based on the number of units within the plat and is calculated as follows:

$$28 \text{ units} \times \$3,615.00/\text{unit} = \mathbf{\$101,220.00}$$

The Developer shall pay the water trunk fee in cash at the time of final plat approval.

**21. CONSTRUCTION ACCESS.** Construction traffic access and egress for grading, public utility construction, and public street construction is restricted to access the subdivision via James Parkway. No construction traffic is permitted on the adjacent local streets.

**22. PARK DEDICATION.** The Developer shall pay a cash contribution of \$56,000.00 in satisfaction of the City's park dedication requirements. The charge was calculated as follows: 28 units at \$2,000.00 per unit. The Developer shall pay the park dedication fee in cash at the time of final plat approval.

**23. STREET LIGHT OPERATION COSTS.** The Developer shall pay to the City \$1,458.24 in payment of the first year operating costs for street lights. The fee was calculated as follows:

$$28 \text{ units} \times \$4.34 \text{ per unit} \times 12 \text{ months} = \mathbf{\$1,458.24}$$

The Developer shall pay the street light operation fee in cash at the time of final plat approval.

**24. BUFFER YARD BERM/LANDSCAPE SCREEN/LANDSCAPING.** City zoning and subdivision ordinances require the installation of a buffer yard berm/landscape screen for the lots that abut Dakota Avenue and landscaping throughout the development. Landscaping shall be installed in accordance with the approved landscape plan. The Developer shall post a security of \$30,000 for landscaping screen/buffer and landscape at the time of final plat approval to ensure that the landscaping is installed in accordance with the approved plan. An irrigation system for the landscaping is required.

**25. SPECIAL PROVISIONS.** The following special provisions shall apply to plat development:

- A. Implementation of the recommendations listed in the June 26, 2018 Planning Report.
- B. **Survey/Monumentation.** Prior to City Council approval of the final plat, the Developer shall furnish a boundary survey of the proposed property to be platted with all property corner monumentation in place and marked with lath and a flag. Any encroachments on or adjacent to the property shall be noted on the survey. Pursuant to City Code Section 12-10-2(E), the Developer shall post a \$2,800.00 security for the final placement of interior subdivision iron monuments at property corners. The security will be held by the City until the Developer's land surveyor certifies that all irons have been set following site grading and utility and street construction. In addition, the certificate of survey must also include a certification that all irons for a specific lot have either been found or set prior to the issuance of a building permit for that lot.
- C. **Townhome Association.** The development must be added to the Dakota Acres Townhome Association or a new Townhome Association must be formed, addressing maintenance, repair and reconstruction of the private drives (Oriole Street and Cardinal Street), landscaping, irrigation and private recreational areas and required recreational improvements within the Plat. If a new townhome association is formed, the association must enter into a cross-access agreement for access through the two existing private drives (Oriole Street and Cardinal Streets) with the Dakota Acres Townhome Association. The Townhome Association documents and Agreement

are subject to the review and approval of the City Attorney and must be recorded prior to releases of the plat mylars for recording.

- D. **Recreational Areas.** The development shall include private recreational areas within the plat which shall include picnic tables and a swing-set structure consistent with the approved development plans, which shall be constructed by the Developer and maintained, repaired and replaced by the Townhome Association.
- E. **Access Removal.** The Developer shall remove the current access to James Parkway at Oriole Street and restore the area with turf or landscaping. The Developer shall maximize any off-street parking spaces in the area where the current access is located. The Developer shall obtain necessary easements for access removal, rights to terminate access, and post a \$10,000 security to ensure the removal of the current access and restoration.
- F. **Sanitary Sewer and Watermains.** The Developer shall provide public utility easements over Outlot A for the public sanitary sewer and water utilities serving the townhomes to be located within the private streets.
- G. **Street Lights.** The Developer shall be responsible for the cost of street light installation consistent with a street lighting plan approved by the City and shall utilize the Domus style fixture or a visually equivalent fixture. Before the City signs the final plat, the Developer shall post a security for street light installation consistent with the approved plan. The estimated amount of this security is \$6,000 and consists of three (3) decorative lights at \$2,000 each.

**26. SUMMARY OF SECURITY REQUIREMENTS.** To guarantee compliance with the terms of this Contract, payment of the costs of all public improvements, and construction of all public improvements, the Developer shall furnish the City with a cash escrow, letter of credit, in the form attached hereto, from a bank ("security") for \$470,761.59. The amount of the security was calculated as follows:

**CONSTRUCTION COSTS:**

A. Sanitary Sewer	\$ 51,840.00
B. Watermain	\$ 82,940.00

C. Storm Sewer/Draintile	\$ 9,495.00
D. Streets	\$ 103,359.00
E. Site Preparation and Grading, Erosion Control/Stormwater Basins, Restoration, Grading Certification	\$ 73,519.50
F. Access Removal	<u>\$ 10,000.00</u>
<b>CONSTRUCTION SUB-TOTAL</b>	<b>\$ 331,153.50</b>

**OTHER COSTS:**

A. City Legal Expenses (Est. 0.5%)	\$ 1,655.77
B. City Construction Observation, Engineering Administration And Record Drawings	\$ 5,000.00
C. Landscaping/Screening/Berming	\$ 30,000.00
D. Street Lights & Installation	\$ 6,000.00
E. Lot Corners/Iron Monuments	<u>\$ 2,800.00</u>
<b>OTHER COSTS SUB-TOTAL</b>	<b>\$ 45,455.77</b>

**SUBTOTAL SECURITIES: \$ 376,609.27**

**TOTAL SECURITIES (Cost plus 25%) \$ 470,761.59**

This breakdown is for historical reference; it is not a restriction on the use of the security. The bank shall be subject to the approval of the City Administrator. The City may draw down the security, on five (5) business days written notice to the Developer, for any violation of the terms of this Contract or without notice if the security is allowed to lapse prior to the end of the required term. If the required public improvements are not completed at least thirty (30) days prior to the expiration of the security, the City may also draw it down without notice. If the security is drawn down, the proceeds shall be used to cure the default. Upon receipt of proof satisfactory to the City that work has been completed and financial obligations to the City have been satisfied, with City approval the security may be reduced from time to time by the value of the work to be done or the financial obligations that have been satisfied taking into consideration the amount determined by the City for the costs of the remaining improvements and financial obligations, except as further provided

herein. Security shall not be reduced to less than 25% of the original security amount until all improvements have been completed, all financial obligations to the City satisfied, the required "as constructed" plans have been received by the City, a warranty security is provided, and the public improvements are accepted by the City Council. The City's standard specifications for utility and street construction outline procedures for security reductions.

**27. SUMMARY OF CASH REQUIREMENTS.** The following is a summary of the cash requirements under this Contract which must be furnished to the City prior to the City Council signing the final plat:

A. Park Dedication	\$ 56,000.00
B. Street Light Operating Fee	1,458.24
C. Storm Water Trunk Fee	7,612.10
D. Sanitary Sewer Trunk Fee	113,568.00
E. Water Trunk Fee	<u>101,220.00</u>
<b>TOTAL CASH REQUIREMENTS</b>	<b>\$ 279,858.34</b>

**28. WARRANTY.** The Developer warrants all improvements required to be constructed by it pursuant to this Contract against poor material and faulty workmanship. The warranty period for underground utilities is two years and shall commence following completion and acceptance by City Council. The Developer shall post maintenance bonds in the amount of twenty-five percent (25%) of final certified construction costs to secure the warranties. The City shall retain 25% of the security posted by the Developer until the maintenance bonds are furnished to the City or until the warranty period expires, whichever first occurs. The retainage may be used to pay for warranty work. The City's standard specifications for utility and street construction identify the procedures for final acceptance of streets and utilities.

**29. RESPONSIBILITY FOR COSTS.**

A. Except as otherwise specified herein, the Developer shall pay all costs incurred by it or the City in conjunction with the development of the plat, including but not limited to, legal, planning,

engineering and construction observation inspection expenses incurred in connection with approval and acceptance of the plat, the preparation of this Contract, review of construction plans and documents, and all costs and expenses incurred by the City in monitoring and inspecting development of the plat.

- B. The Developer shall hold the City and its officers, employees, and agents harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from plat approval and development. The Developer shall indemnify the City and its officers, employees, and agents for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees.
- C. The Developer shall reimburse the City for costs incurred in the enforcement of this Contract, including engineering and attorneys' fees.
- D. The Developer shall pay in full all bills submitted to it by the City for obligations incurred under this Contract within thirty (30) days after receipt. If the bills are not paid on time, the City may halt plat development and construction until the bills are paid in full. Bills not paid within thirty (30) days shall accrue interest at the rate of eighteen percent (18%) per year. Additionally, the Developer shall pay in full all bills submitted to it by the City prior to any reductions in the security for the development.
- E. In addition to the charges referred to herein, other charges may be imposed at the time of the building permit for each lot, such as but not limited to, sewer availability charges ("SAC"), City water connection charges, City sewer connection charges, and building permit fees.

**30. DEVELOPER'S DEFAULT.** In the event of default by the Developer as to any of the work to be performed by it hereunder, the City may, at its option, perform the work and the Developer shall promptly reimburse the City for any expense incurred by the City, provided the Developer, except in an emergency as determined by the City, is first given notice of the work in default, not less than forty-eight (48) hours in advance. This Contract is a license for the City to act, and it shall not be necessary for the City to seek a

Court order for permission to enter the land. When the City does any such work, the City may, in addition to its other remedies, assess the cost in whole or in part.

**31. MISCELLANEOUS.**

- A. The Developer represents to the City that the plat complies with all city, county, metropolitan, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations. If the City determines that the plat does not comply, the City may, at its option, refuse to allow construction or development work in the plat until the Developer does comply. Upon the City's demand, the Developer shall cease work until there is compliance.
- B. Third parties shall have no recourse against the City under this Contract.
- C. Breach of the terms of this Contract by the Developer shall be grounds for denial of building permits, including lots sold to third parties.
- D. If any portion, section, subsection, sentence, clause, paragraph, or phrase of this Contract is for any reason held invalid, such decision shall not affect the validity of the remaining portion of this Contract.
- E. Grading, curbing, and one lift of asphalt shall be installed on all public and private streets prior to issuance of any building permits, except two model homes on lots acceptable to the Building Official. Approval of an administrative permit in compliance with Section 11-5-10 of the City's zoning ordinance is required prior to the construction of any model homes.
- F. If building permits are issued prior to the acceptance of public improvements, the Developer assumes all liability and costs resulting in delays in completion of public improvements and damage to public improvements caused by the City, Developer, its contractors, subcontractors, material men, employees, agents, or third parties. No sewer and water connections or inspections may be conducted and no one may occupy a building for which a building permit is issued on either a temporary or permanent basis until the streets needed for access have been paved with a bituminous surface and the utilities are accepted by the City Engineer.

- G. The action or inaction of the City shall not constitute a waiver or amendment to the provisions of this Contract. To be binding, amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Contract shall not be a waiver or release.
- H. This Contract shall run with the land and may be recorded against the title to the property. In the event this Contract is recorded, the City covenants to provide a recordable Certificate of Completion promptly upon the completion of the work and responsibilities required herein, payment of all costs and fees required and compliance with all terms of the Contract. The Developer covenants with the City, its successors and assigns, that the Developer is well seized in fee title of the property being final platted and/or has obtained consents to this Contract, in the form attached hereto, from all parties who have an interest in the property; that there are no unrecorded interests in the property being final platted; and that the Developer will indemnify and hold the City harmless for any breach of the foregoing covenants. After the Developer has completed the Improvements required of it under this Agreement and all obligations under the terms of the Development Contract have been met, including all financial obligations, at the Developer' s request the City will execute and deliver a termination of this Agreement (in recordable form) and a release of the Developer.
- I. Insurance. Prior to execution of the final plat, Developer and its general contractor shall furnish to the City a certificate of insurance showing proof of the required insurance required under this Paragraph. Developer and its general contractor shall take out and maintain or cause to be taken out and maintained until six (6) months after the City has accepted the public improvements, such insurance as shall protect Developer and its general contractor and the City for work covered by the Contract including workers' compensation claims and property damage, bodily and personal injury which may arise from operations under this Contract, whether such operations are by Developer and its general contractor or anyone directly or indirectly employed by either of them. The minimum amounts of insurance shall be as follows:

*Commercial General Liability (or in combination with an umbrella policy)*  
\$2,000,000 Each Occurrence  
\$2,000,000 Products/Completed Operations Aggregate  
\$2,000,000 Annual Aggregate

The following coverages shall be included:

Premises and Operations Bodily Injury and Property Damage  
Personal and Advertising Injury  
Blanket Contractual Liability  
Products and Completed Operations Liability

*Automobile Liability*

\$2,000,000 Combined Single Limit – Bodily Injury & Property Damage  
Including Owned, Hired & Non-Owned Automobiles

*Workers Compensation*

*Workers' Compensation insurance in accordance with the statutory requirements of the State of Minnesota, including Employer's Liability with minimum limits are as follows:*

- \$500,000 – Bodily Injury by Disease per employee
- \$500,000 – Bodily Injury by Disease aggregate
- \$500,000 – Bodily Injury by Accident

The Developer's and general contractor's insurance must be "Primary and Non-Contributory".

All insurance policies (or riders) required by this Contract shall be (i) taken out by and maintained with responsible insurance companies organized under the laws of one of the states of the United States and qualified to do business in the State of Minnesota, (ii) shall name the City, its employees and agents as additional insureds (CGL and umbrella only) by endorsement which shall be filed with the City. A copy of the endorsement must be submitted with the certificate of insurance.

Developer's and general contractor's policies and Certificate of Insurance shall contain a provision that coverage afforded under the policies shall not be cancelled without at least thirty (30) days' advanced written notice to the City, or ten (10) days' notice for non-payment of premium.

An Umbrella or Excess Liability insurance policy may be used to supplement Developer's or general contractor's policy limits on a follow-form basis to satisfy the full policy limits required by this Contract.

- J. Indemnification. To the fullest extent permitted by law, Developer agrees to defend, indemnify and hold harmless the City, and its employees, officials, and agents from and against all claims, actions, damages, losses and expenses, including reasonable attorney fees, arising out of Developer's negligence or its performance or failure to perform its obligations under this Contract. Developer's indemnification obligation shall apply to Developer's general contractor, subcontractor(s), or anyone directly or indirectly employed or hired by Developer, or anyone for whose acts Developer may be liable. Developer agrees this indemnity obligation shall survive the completion or termination of this Contract.
- K. Each right, power or remedy herein conferred upon the City is cumulative and in addition to every other right, power or remedy, express or implied, now or hereafter arising, available to City, at law or in equity, or under any other agreement, and each and every right, power and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City and shall not be a waiver of the right to exercise at any time thereafter any other right, power or remedy.
- L. The Developer may not assign this Contract without the written permission of the City Council. The Developer's obligation hereunder shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it, until the City's issuance of a Certificate of Completion and Release.
- M. Retaining walls that require a building permit shall be constructed in accordance with plans and specifications prepared by a structural or geotechnical engineer licensed by the State of Minnesota. Following construction, a certification signed by the design engineer shall be filed with the Building Official evidencing that the retaining wall was constructed in accordance with the approved plans and specifications. All retaining walls identified on the development plans and by special conditions referred to in this Contract shall be constructed before any other building permit is issued for a lot on which a retaining wall is required to be built.

N. Should the Developer convey any lot or lots in the Development to a third party, the City and the owner of that lot or those lots may amend this Development Contract or other city approvals or agreements for development or use of those lots without the approval or consent of the Developer or other lot owners in the Development. Private agreements between the owners of lots within the Development for shared service or access and related matters necessary for the efficient use of the Development shall be the responsibility of the lot owners and shall not bind or restrict City authority to approve applications from any lot owner in the Development.

**32. NOTICES.** Required notices to the Developer shall be in writing, and shall be either hand delivered to the Developer, its employees or agents, or mailed to the Developer by certified mail at the following address: Syndicated Properties LLC, P.O. Box 190, Prior Lake, MN 55372. Notices to the City shall be in writing and shall be either hand delivered to the City Administrator, or mailed to the City by certified mail in care of the City Administrator at the following address: 601 Main Street, Elko New market, MN 55020.

*[The remainder of this page has been intentionally left blank.  
Signature pages follow.]*

**CITY OF ELKO NEW MARKET**

BY: \_\_\_\_\_  
Bob Crawford, Mayor

(SEAL)

AND \_\_\_\_\_  
Sandra Green, City Clerk

STATE OF MINNESOTA     )  
  )ss.  
COUNTY OF SCOTT        )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, by Bob Crawford and by Sandra Green, the Mayor and City Clerk of the City of Elko New Market, a Minnesota municipal corporation, on behalf of the corporation and pursuant to the authority granted by its City Council.

\_\_\_\_\_  
NOTARY PUBLIC

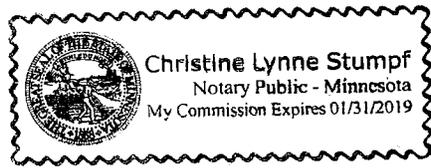
DEVELOPER:  
SYNDICATED PROPERTIES LLC

BY: Joe Lehrer  
Its Chief Manager

STATE OF MINNESOTA    )  
                                  )ss.  
COUNTY OF Dakota    )

The foregoing instrument was acknowledged before me this 17<sup>th</sup> day of September, 2018, by Joe Lehrer the Chief Manager of Syndicated Properties LLC, a Minnesota limited liability company, on behalf of the limited liability company.

Christine Lynne Stumpf  
\_\_\_\_\_  
NOTARY PUBLIC



DRAFTED BY:  
CAMPBELL, KNUTSON  
*Professional Association*  
Grand Oak Office Center I  
860 Blue Gentian Road, Suite 290  
Eagan, MN 55121  
Telephone: 651-452-5000  
AMP/cjh

**EXHIBIT "A"**  
**TO**  
**DEVELOPMENT CONTRACT**

**Legal Description of Property Being Final Platted as  
Dakota Acres 1<sup>st</sup> Addition**

Outloc C, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota, except that part lying westerly of the east line of Outlot D, said Dakota Acres and it's southerly extension.

AND

That part of Outlot B, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota, described as follows: Commencing at the most northerly corner of said Outlot B; thence South 00 degrees 24 minutes 49 seconds East, assumed bearing, along a west line of said Outlot B, a distance of 245.75 feet to a southwest corner of said Outlot B; thence north 89 degrees 35 minutes 11 seconds East, along a south line of said Outlot B, a distance of 6.02 feet to the point of beginning; thence North 00 degrees 24 minutes 46 seconds West, a distance of 31.56 feet; thence North 89 degrees 35 minutes 11 seconds East, a distance of 45.00 feet; thence South 00 degrees 24 minutes 49 seconds East, a distance of 31.56 feet to said south line of Outlot B; thence South 89 degrees 35 minutes 11 seconds West, along said south line of Outlot B, a distance of 45.00 feet to the point of beginning.

AND

The south 20.50 feet of Lot 1, Block 2, Dakota Acres, according to the recorded plat thereof, Scott County, Minnesota and that part of Outlot B, said Dakota Acres, described as follows: Beginning at the southeast corner of said Lot 1; thence South 00 degrees 23 minutes 54 seconds West, along the southerly extension of the east line of said Lot 1, a distance of 9175 feet; thence South 31 degrees 53 minutes 32 seconds West, a distance of 892 feet to a southwest corner of said Outlot B; thence North 89 degrees 36 minutes 06 seconds West, along a south line of said Outlot B, a distance of 40.34 feet; thence North 00 degrees 23 minutes 54 seconds West, a distance of 17.36 feet to the southwest corner of said Lot 1; thence South 89 degrees 36 minutes 06 seconds East, along the south line of said Lot 1, a distance of 45.00 feet to the point of beginning.

**[BANK LETTERHEAD]**

**IRREVOCABLE LETTER OF CREDIT**

No. \_\_\_\_\_  
Date: \_\_\_\_\_

TO: City of Elko New Market  
601 Main Street  
Elko New Market, Minnesota 55020

Dear Sir or Madam:

We hereby issue, for the account of \_\_\_\_\_ (Name of Developer) and in your favor, our Irrevocable Letter of Credit in the amount of \$ \_\_\_\_\_, available to you by your draft drawn on sight on the undersigned bank.

The draft must:

- a) Bear the clause, "Drawn under Letter of Credit No. \_\_\_\_\_, dated \_\_\_\_\_, 2\_\_\_\_\_, of (Name of Bank) \_\_\_\_\_";
- b) Be signed by the City Administrator of the City of Elko New Market.
- c) Be presented for payment at \_\_\_\_\_ (Address of Bank) \_\_\_\_\_, on or before 4:00 p.m. on November 30, 2\_\_\_\_\_.

This Letter of Credit shall automatically renew for successive one-year terms unless, at least forty-five (45) days prior to the next annual renewal date (which shall be November 30 of each year), the Bank delivers written notice to the Elko New Market City Administrator that it intends to modify the terms of, or cancel, this Letter of Credit. Written notice is effective if sent by certified mail, postage prepaid, and deposited in the U.S. Mail, at least forty-five (45) days prior to the next annual renewal date addressed as follows: Elko New Market City Administrator, Elko New Market City Hall, 601 Main Street, Elko New Market, MN 55020, and is actually received by the Finance Director at least thirty (30) days prior to the renewal date.

This Letter of Credit sets forth in full our understanding which shall not in any way be modified, amended, amplified, or limited by reference to any document, instrument, or agreement, whether or not referred to herein.

This Letter of Credit is not assignable. This is not a Notation Letter of Credit. More than one draw may be made under this Letter of Credit.

This Letter of Credit shall be governed by the most recent revision of the Uniform Customs and Practice for Documentary Credits, International Chamber of Commerce Publication No. 600.

We hereby agree that a draft drawn under and in compliance with this Letter of Credit shall be duly honored upon presentation.

**[NAME OF BANK]**

BY: \_\_\_\_\_

Its \_\_\_\_\_



601 Main Street  
Elko New Market, MN 55054  
phone: 952-461-2777 fax: 952-461-2782

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## MEMORANDUM

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**TO:** PLANNING COMMISSION  
**CC:** JOE LEHRER, SYNDICATED PROPERTIES, LLC  
LARRY GENSNER  
**FROM:** RENEE CHRISTIANSON, COMMUNITY DEVELOPMENT SPECIALIST  
**RE:** REQUEST FOR REZONING #R3-2018, TO REZONE PROPERTY TO PLANNED UNIT DEVELOPMENT (PUD), AND PRELIMINARY PLAT APPROVAL OF DAKOTA ACRES 1<sup>ST</sup> ADDITION, CONSISTING OF 28 RESIDENTIAL (TOWNHOUSE) LOTS AND ONE OUTLOT ON 2.17 ACRES, AS PROPOSED BY SYNDICATED PROPERTIES.  
**DATE:** JUNE 26, 2018

PLANNING COMMISSION MEETING:	JUNE 26, 2018
CITY COUNCIL MEETING:	JULY 26, 2018
60-DAY REVIEW DEADLINE:	AUGUST 21, 2018
120-DAY REVIEW DEADLINE	OCTOBER 20, 2018

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### **Background / History**

Syndicated Properties, LLC purchased this 2.17 acre property from the City of Elko New Market in the fall of 2017. This property, together with additional property to the west, north, and east had been approved for a 71-unit town home development prior to the recession. The original development was planned to be platted in multiple phases. The first phase, which was platted as Dakota Acres, contained 21 lots / townhome units. Eight of the originally approved 21 units were constructed before the recession hit, leaving thirteen platted townhome units yet to be built on. The original developer defaulted on assessments against the properties and the City ultimately ended up with possession of his remaining property (thirteen platted lots and the remaining outlots). The applicant, Syndicated Properties, also purchased the originally platted thirteen units, and townhomes are currently under construction on all thirteen of those lots.

The original development was approved by way of PUD zoning. The applicant is proposing changes to the originally approved PUD development and therefore is applying to rezone this 2.17 acre property to a new PUD zoning district to accommodate his proposed development and new layout. An application for rezoning and preliminary plat approval of Dakota Acres 1<sup>st</sup> Addition has been received.

Submitted for review were the following:

- Boundary Survey / Existing Conditions drawing prepared by Stantec and dated 5/1/18
- Preliminary Plat drawing prepared by Stantec and dated 6/20/18
- Final Plat drawing prepared by Stantec and dated 6/20/18

Christmas Pines – Rezoning & Preliminary Plat Application

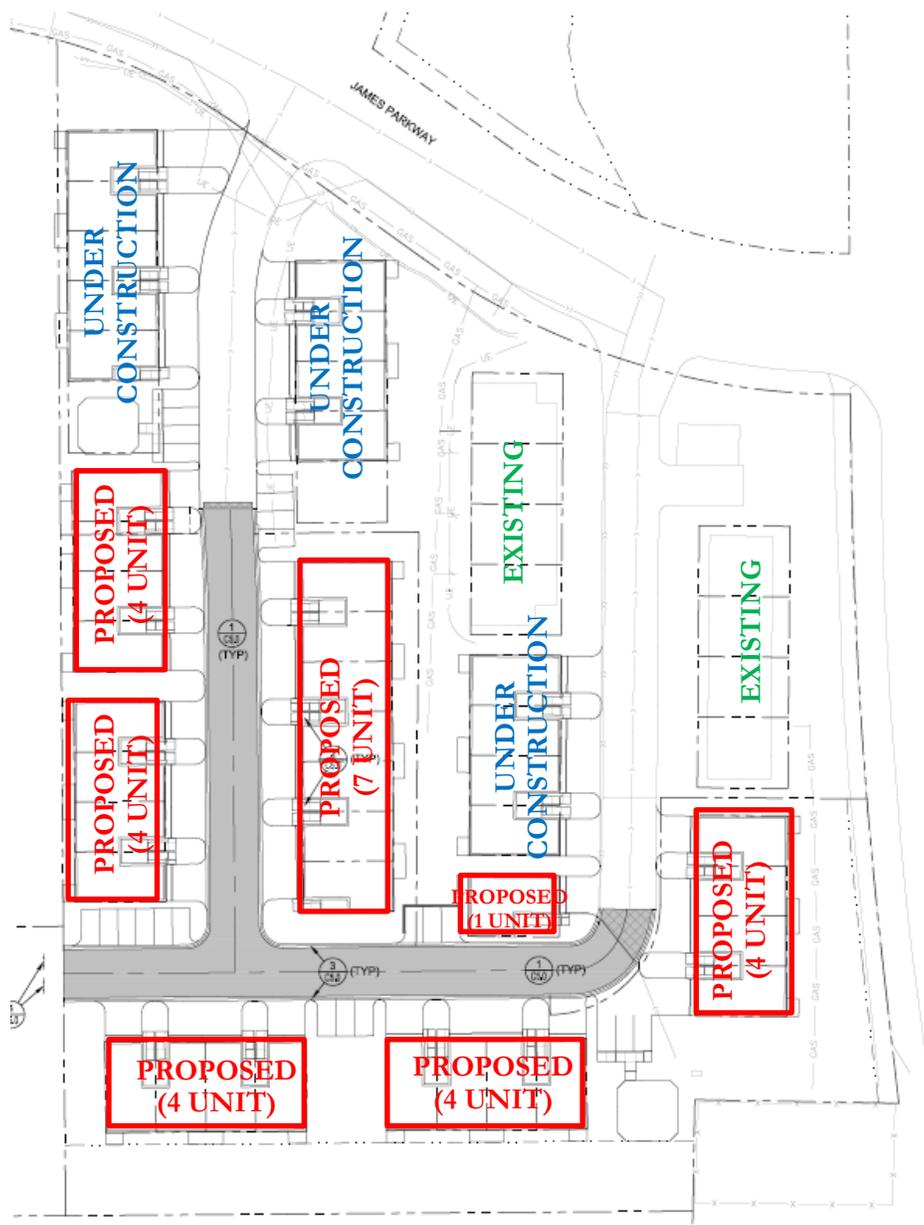
Page 1 of 16

June 26, 2018

- Preliminary Grading & Construction plans prepared by Larsen Engineering containing 7 sheets and dated 6/21/18
- Landscaping plan prepared by RHA Architects and dated 8/15/16 (possible error in date?)
- Building elevations and sample floor plans prepared by RHA Architects and dated 11/19/17 (7-unit, 4-unit and 1-unit buildings)

City staff has referred to the following City adopted ordinances and plans when reviewing the zoning and preliminary plat application:

- 2030 Comprehensive Land Use Plan, including Sanitary Sewer, Water, Stormwater and Park Plans
- Zoning Ordinance
- Subdivision Ordinance



Proposed 28 Townhome Units

## Neighborhood Conditions

- To the south of the proposed development is a vacant lot that had been approved for townhome development prior to the recession.
- To the east of the proposed development are townhome units, and detached single family homes.
- To the north of the proposed development are townhomes that are currently under construction.
- To the west of the proposed development is vacant property (apartment buildings are currently proposed on the vacant property).

Development of the property as residential townhomes is compatible with the adjacent land uses.

## Legal Description

The proposed development consists of one property containing 2.17 gross acres. The PID # is 23-027025-1. The legal description is lengthy, and is a portion of Outlot B and a portion of Outlot C in Dakota Acres.

## Comprehensive Land Use Plan

The city's comprehensive land use plan guides the property to a "Residential Mixed Use" land use designation. The comprehensive plan contains the following language regarding Residential Mixed Use:

*"This "Residential Mixed Use" development pattern is based on the Low Density Residential District. However, this District is characterized by a greater proportion of non-single family detached homes at higher densities than the Low Density Residential District. This District is intended to provide an opportunity to create population centers and to accommodate the demand for lifecycle and affordable housing located near activity areas and transportation corridors. The dominant housing form will be single family detached homes (75%). Single family attached homes and multi-family residences are expected to represent 25% of the housing opportunities within the development, and may include townhomes, apartments, and senior residential facilities. Single family attached dwellings will be allowed as permitted uses. Dwellings containing over 4 units should be allowed as conditional uses and may be mixed with detached homes in Planned Unit Developments. Commercial uses will be allowed in a Planned Unit Development if the use provides a service to the neighborhood, or creates a buffer between a residential area or public space and a road or more intensive use. Support facilities that are compatible with neighborhoods and accessory uses are allowed within this District. The guided density in this land use designation is 8 units per net acre, with a range between 5 and 15 units per net acres."*

The proposed use of the property for attached townhome units meets the intent of the guided land use for the area. The proposed development meets the specified density range identified in the Comprehensive Plan, which calls out a preferred residential density range of 5 to 15 units per net acre. The proposed development of 28 units on 2.17 (12.9 units per acre) falls within the residential density range identified in the Comprehensive Plan.

## Zoning

The property is currently zoned PUD. A brief description of the currently approved PUD is as follows:

In 2006 the City approved a PUD for the Dakota Acres property to allow a 71 unit townhouse development, of which only eight units were constructed. (A copy of the approved layouts is shown at the end of this memo.)

Redevelopment of the property as depicted by the applicant will require a rezoning of the property to reflect the new layout. The purpose of a PUD zoning district is to provide flexibility in the development of residential and non-residential areas that would not be possible under a conventional zoning district. The intent of a PUD is to:

- A. Provide for the establishment of PUD (planned unit development) zoning districts in appropriate settings and situations to create or maintain a development pattern that complies with the city comprehensive plan.
- B. Allow for the mixing of land uses within a development when such mixing of land uses could not otherwise be accomplished under this title.
- C. Provide for variations to the strict application of the land use regulations in this title in order to improve site design and operation, while at the same time incorporating design elements (e.g., construction materials, landscaping, lighting, etc.) that exceed the city's standards to offset the effect of any variations.
- D. Promote a more creative and efficient approach to land use within the city, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the city.
- E. Preserve and enhance natural features and open spaces.
- F. Maintain or improve the efficiency of public streets and utilities.
- G. Ensure the establishment of appropriate transitions between differing land uses.

The City Code requires that use, lot size, setbacks, building height requirements, etc. of the most closely related conventional zoning district be considered appropriate. The R4 High Density Residential District standards will be used in evaluating the development.

Multiple family dwellings containing more than 8 units are permitted uses in the R4 zoning district. The applicant is proposing five 4-unit buildings, one 7-unit building, and one single unit. This is a deviation from the RH district requirements.

### **Lot Size / Width**

The PUD district standards state that “The various lot area, lot width, setback and building height regulations of the most closely related conventional zoning district shall be considered presumptively appropriate but may be departed from to accomplish the purposes/intent described above.” The R4 (High Density Residential) zoning district standards will be used as the most closely related district standards.

There is no minimum lot area “per dwelling unit” identified for the R4 District. The individual units are 1125 (corner units), 1,116 (interior units), and 1,361 (individual unit). Overall, the development contains 3,376 sq ft per unit (includes common areas). The minimum unit width requirement is 25’. The applicant is proposing units that are 25’ wide. The proposed development meets the lot size and width requirements for the R4 District.

### **Setbacks**

The PUD district standards state that “The various lot area, lot width, setback and building height regulations of the most closely related conventional zoning district shall be considered presumptively appropriate but may be departed from to accomplish the purposes/intent described above.” The R4 zoning district standards will be used as the most closely related district standards. The setback requirements in the R4 zoning district are as follows:

- Front setback to curb of private street – 30’
- Setback between buildings – 20’
- Setback to periphery property lines – 30’
- Setback to major collector street – 50’ (to allow for landscape buffer)

Front: The developer is proposing front setbacks of 20’ from the private drives (30’ required) & 30’ from Dakota Avenue (50’ required), except that the single unit building is proposed at 3’ from the private drive.

It is important to note that the front setbacks proposed are consistent with the existing townhomes and previously approved development.

Setback between buildings – The distance between the proposed buildings varies throughout the site, ranging from 10' to 55' (20' required). The average distance between buildings is approximately 15'.

Setback to periphery property lines – Along the west side of the plat, the buildings are proposed at 5' from the west property line (30' required). It is important to note that the original development had been approved with this setback. The proposed buildings will line up with the building under construction on the northwest side of the plat.

Setback to major collector street – The building is proposed at 30' from the east property line, which abuts James Parkway (50' required). The proposed building will line up with the existing building to the north. It is important to note that the original development had been approved with this setback.

The proposed setbacks are depicted on the preliminary plat and civil drawings dated 6/21/18. Staff is seeking direction from the Planning Commission regarding their support for the setbacks as proposed, including the setbacks of the single unit building.

### **Height Requirements**

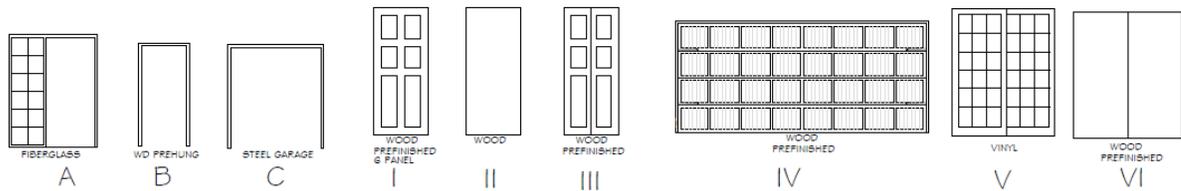
Structures shall not exceed 35' in height in the R4 zoning district. Structures are currently proposed as two story slab-on-grade structures with a 5/12 roof pitch and will not exceed the maximum height requirement.

### **Miscellaneous Design Requirements**

Section 11-25D-8 of the City Code contains design requirements for the R4 high density zoning district which would apply to the proposed development. Certain design requirements to note are as follows:

Exterior Building Finish – “A minimum of 25% of the area of all building facades of a structure shall have an exterior finish of brick, stucco and/or natural or artificial stone.” Building elevations have been submitted for the 1, 4 & 7 unit buildings (4-unit shown below), all having similar finishes containing stone on the front and side elevations, steel siding, and asphalt shingles. The proposed building elevations do not meet the minimum code requirements of 25% brick or stone on all sides. Staff notes that the existing townhome / approved development was not required to incorporate brick, and suggest that the Planning Commission consider a deviation from this requirement to allow for the building elevations shown below. The building elevations are compatible with the existing townhome units. The applicant has indicated they may wish to change the siding material to vinyl to match the existing units but will provide greater variation in color than the existing units. Additional information will be provided at the meeting.





Existing Building #1



Existing Building #2

Parking – Guest parking shall be provided at one-half space per unit, in an off street parking lot or private drive area. The construction plans show an area containing 19 - 9’ x 18’ parking stalls (14 required for this phase of development). The parking stalls must be constructed at the time of development. It is noted that additional guest parking stalls are being provided to account for guest parking for the existing townhouse units under construction.

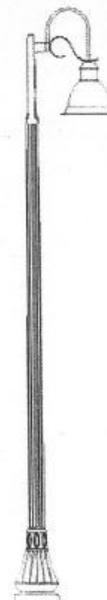
Garage Stalls – For dwellings without basements, each dwelling unit shall include an attached garage of at least 540 square feet and with a minimum width of 20’. The developer is proposing garages that are 418 square feet (19’W x 22’D). This is similar size to what has recently been approved in other PUD districts (Christmas Pines 20’x20’). Staff recommends approval of the requested deviation.

**Garbage / Trash**

The applicant is not proposing common garbage facilities / dumpster area. Each individual unit will be required to have their own garbage service and receptacles. City code requires that garbage cans be stored inside or screened from view. Based on the compact nature of the development, and the potential eyesore that could be caused by everyone storing their garbage cans in front of the garages, it is imperative that the applicant understand that garbage cans must be stored inside. Staff suggests a condition be added in this regard, in case the City Code ever changes to allow garbage cans to be stored in front of peoples homes.

**Lighting**

The applicant has requested that he be able to utilize the previously approved lighting plan from 2005/2006. Staff has found the lighting fixture that was originally approved by the Planning Commission in 2005/2006 (but never installed). A depiction of this fixture is shown here. Staff was unable to locate a lighting (location) plan from the original development. Staff recommends that the developer submit a lighting plan, meeting the requirements of City Code, and showing the location of the proposed fixtures.



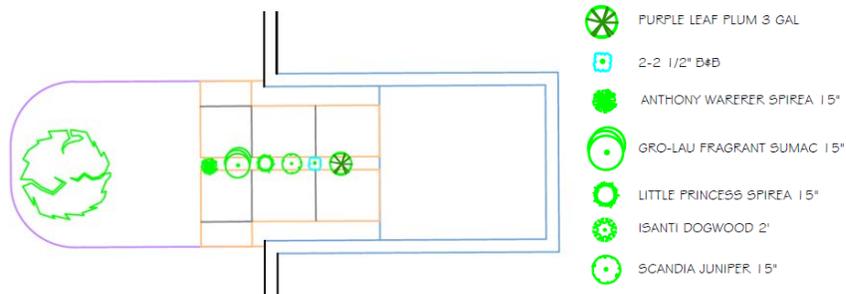
The Planning Commission is recommending a Domus style fixture for use within the Planned Unit Development.

**Landscaping**

Section 11-5-4 of the Zoning Ordinance requires minimum 20' wide landscaped buffer where lots back onto a major collector street. Dakota Avenue is designated as a major collector and therefore the 20' landscape buffer would apply. The buffer must consist of two staggered rows of plantings and may include berming up to 4' in height.

Section 11-10-3 (B) also contains landscaping requirements for R4 zoning districts, and requires that a landscape plan be submitted for the development, including foundation plantings. Also required is an in-ground irrigation system.

A landscape plan has been submitted. The plan shows proposed foundation plantings and also shows the following trees species dispersed throughout the common areas of the site (both shown below):



Black Hill Spruce



Whitespire Birch



River Birch



Hackberry



Autumn Purple Ash



Purple Leaf Plum

Staff has reviewed the landscaping plan and generally finds the landscape plan favorable, subject to a few recommendations as shown on the drawing containing staff recommendations/notes and dated 6/20/18.

### **Tree Preservation**

Section 12-9-9 of the City’s Subdivision Ordinance contains Tree Preservation and Replacement regulations, and requires that 40% of the significant trees must be protected as part of the development. There are no significant trees on the property.

### **Easements**

Section 12-9-6 of the Subdivision Ordinance requires that 10’ wide perimeter easements and 5’ wide interior easements be dedicated along all lot lines. The applicant is showing a 10’ easement along the eastern boundary, abutting Dakota Avenue. The main sewer and water lines throughout the site should be considered public infrastructure, and covered by a drainage and utility easement. Staff recommends additional easements be provided for the sanitary sewer and water lines. One option would be to provide a drainage and utility easement over the entire outlot. There is also a 35’ wide easement in favor of Northern Natural Gas (NNG) that runs east/west along the southerly property line. Any improvements proposed within the easement must be approved by NNG and do not involve the City.

### **Sanitary Sewer**

Sewer service into the existing townhome development comes from James Pkwy, where there is an 8” gravity sanitary sewer line. There are existing 8” pvc sanitary sewer lines that exist within the townhouse site. The applicant is proposing to extend these lines to service the proposed 28 units. Staff recommends that the main lines running through the site be considered public infrastructure.

### **Water**

Water service into the existing townhome development comes from James Pkwy, where a 12” watermain exists. There are existing 8” ductile iron water line located in Cardinal and Oriole Streets that service the existing townhouse units. The applicant is proposing to extend these lines to service the proposed 28 units. Water will then be looped through the site which is desirable. Staff recommends that the main lines running through the site be considered public infrastructure.



**Stormwater**

There is an existing stormwater pond located on the north side of James Parkway. The pond was designed to handle drainage from the site and additional property to the west for the original townhome development. The pond design is considered grandfathered provided that the development of the property is generally consistent with the original development plan from 2006.

**Wetlands / Floodplain / DNR Protected Waters**

There are no wetlands, DNR Protected Waters, or flood zones on the subject property.

**Access / Roads / Transportation Issues**

The proposed development borders on two existing public streets. Dakota Avenue on the east side of the development and James Parkway on the north side of the development. There are also two existing private drives, Oriole & Cardinal Streets, which provide access to the proposed townhouse development. Future functional classification of the existing roads and design concerns are as follows:

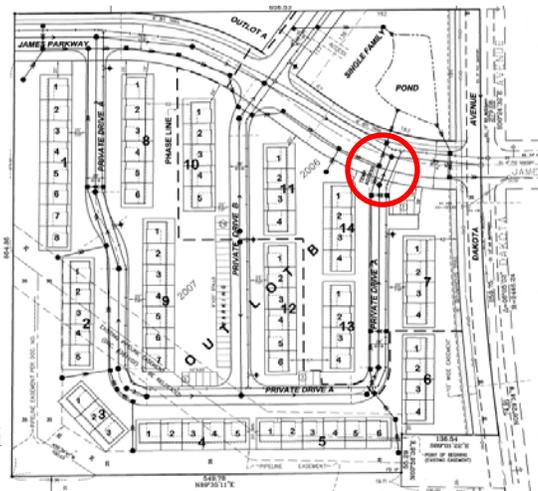
Dakota Avenue, Major City Collector Road. The purpose of a major collector is typically to link neighborhoods together within a city or link neighborhoods to business concentrations. Access to collector roadways should be made via local streets and private access should be avoided. The typical right-of-way width on a major collector is 100'. The existing right-of-way on Dakota Avenue is 70'. **The applicant is proposing an additional 10' of right-of-way dedication along Dakota Avenue.** Traffic volumes on Dakota Avenue are unknown.



*Existing section of Dakota Avenue (looking north)*

James Parkway – Minor City Collector Roadway. The purpose of a minor collector is to collect local traffic and convey it to major collectors and minor arterials. Minor collectors serve short trips at relatively low speeds. Their emphasis is focused on access rather than mobility. Traffic volumes on James Parkway are unknown. There are two existing curb cuts onto James Parkway (at Oriole & Cardinal Streets) which were intended to serve as access to the proposed development property.

Oriole Street - Private Roadway. This private roadway is maintained by the Dakota Acres Townhome Association, is approximately 28' in width, and serves the eight existing townhome units and one four-unit building that is currently under construction. The road currently connects with James Parkway on the north, **but the original development plan required that this access to James Parkway be removed as the townhome project progressed and alternative access was provided.** The requirement for this connection point at James Parkway to be removed is because the access point is too close to



the James Parkway/Dakota Avenue intersection. The applicant is proposing to extend this road to the south, connecting to Cardinal Street. The private drive is proposed at 28' in width as required by City Code. The applicant is requesting that the connection be permitted to remain open, so that there would be two access points into the development and all units would not be funneled to the one access point at Cardinal Street. There will be a total of 49 townhome units within the existing and proposed portions of the project. The City Engineer maintains his position that the access point should be removed. Staff request Planning Commission recommendation on whether the removal of the access will be required as a condition of this development approval.

Cardinal Street - Private Roadway. This private roadway is maintained by the Dakota Acres Townhome Association, is approximately 28' in width, and serves nine townhome units that are currently under construction. The road currently connects with James Parkway on the north. The applicant is proposing to extend this road to the south, connecting to Oriole Street. The private drive is proposed at 28' in width as required by City Code.

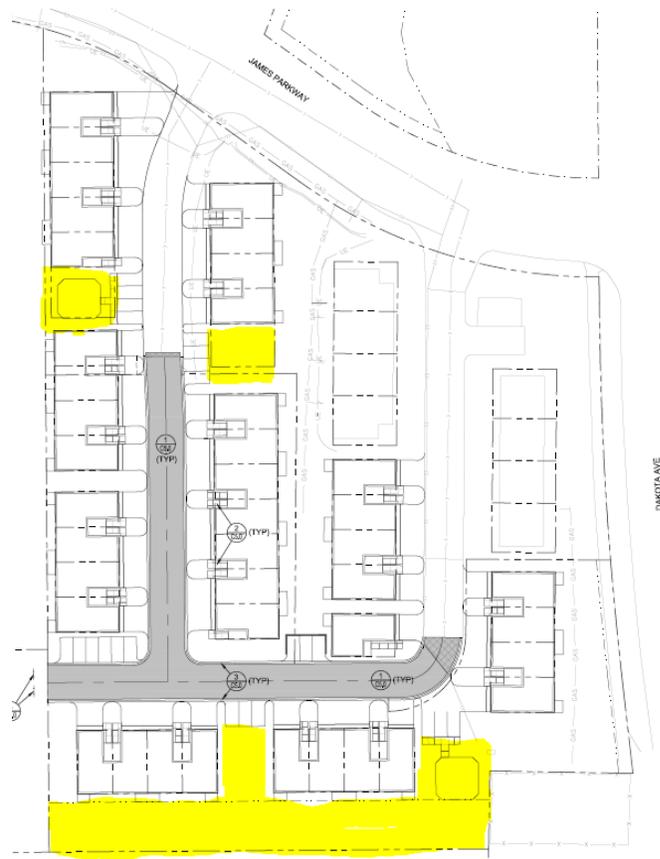
### **Sidewalks & Trails**

The City's Subdivision Ordinance requires that concrete sidewalks are constructed on at least one side of all residential streets; the outside edge shall be located one foot from the property line. There are no public streets proposed within the development. The City's Transportation Plan recommends that sidewalks or trails be constructed adjacent to all minor collectors, major collectors, and minor arterial roadways. There is an existing trail along the north side of James Parkway and the west side of Dakota Avenue. The City's Park & Trail Plan does not identify any additional trail / sidewalk corridors at the subject property, other than those already existing. No additional trails or sidewalks are required based on City Code.

### **Open Space Requirements**

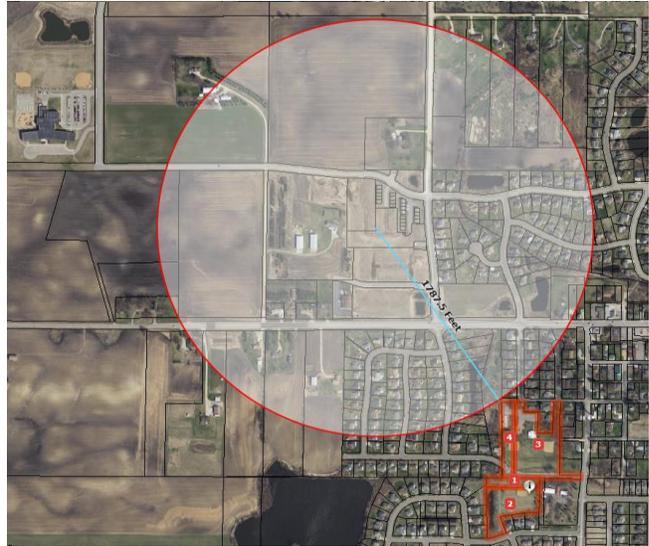
Section 11-25D-8 (R4 district requirements) requires that *"In addition to the park dedication requirements stipulated by the Subdivision Ordinance, a minimum of 10% of the gross development project area shall be in usable open space and recreational use for the project residents. Such areas shall be specifically designed for both the active and passive use by the project residents and may include swimming pools, trails, nature areas, tot lots, exercise equipment, saunas, etc. Said areas and facilities shall be private..."*

Based on the lot size of 2.17 acres (94,525 sq ft) the developer must identify 9,452 sq ft for open space within the development. The applicant has identified the following (highlighted) areas as designated open space for project residents. Staff estimates the area to be approximately 19,000 square feet. An email from the applicant dated 6/20/18 states that they intend to install a swing set, picnic tables and bird houses in the open space area. Staff requests feedback from the Planning Commission regarding the acceptability of the proposed open space areas and amenities.



**Parks Related Comments**

The City’s Subdivision Ordinance requires 10% of the land be dedicated for parks, playgrounds, public open spaces or trails and/or the developer shall make a cash contribution to the City’s park and trail fund roughly related to the anticipated effect of the plat on the park and trail system. If no land dedication is required the park fee is \$2,000 per residential unit. The Parks Commission reviewed a previous concept development plan for a residential development on this property, and has recommended to the City Council that cash in lieu of land be required for development of the property. The reason for their recommendation is that there is no future public park identified in the City’s 2030 Park & Trail Plan.



It is noted that the closest public park is Wagner Park which is classified as a Community Park. Community Parks serve the City as a whole. Wagner Park is the City’s most developed park. The park is approximately .34 miles from the proposed development (.45 miles walking distance), and is separated by from the proposed development by Co Rd 2, an A minor arterial roadway. There are also park facilities at the nearby elementary school.

**City Engineer Comments**

The City Engineer is in the process of reviewing the submittal and comments will be available at the Planning Commission meeting.

**Public Works Director Comments**

The Public Works Director has reviewed the submittal and has no specific concerns regarding utility or Public Works items at this time. He does, however, recommend that the mailboxes for the development be moved off of James Parkway. This will require coordination with the Postal Service.

**Fire Chief Comments**

The Fire Chief has not reviewed the submittal.

**Police Chief Comments**

Comments from the Police Chief had not been received at the time of this report.

**Building Official Comments**

The Building Official has reviewed the submittal and has no comments at this time.

**City Attorney Comments**

The City Attorney is in the process of reviewing the submittal and comments will be available at the Planning Commission meeting. If a new homeowners association is formed, Articles of Incorporation and Bylaws must be approved by the City Attorney. If the units will be added to the existing Dakota Acres association, amended association documents will need to be approved by the City Attorney. A title commitment has been submitted for review and approval.

**School District Impacts**

The proposed development is in the New Prague School District. According to the New Prague Superintendent of Schools, the City of Elko New Market has an average of .55 students per household within the district. Using this statistic, the proposed development would add 15 students to the school system once fully developed.

**Specific Questions for Planning Commission**

- Support for setbacks on single townhouse unit?
- Support for open space configuration and amenities?
- Recommendation regarding closing Oriole Street entrance at James Parkway

**Staff Recommendation:**

Staff would recommend approval of the request to rezone property to Planned Unit Development (PUD), and preliminary plat approval of Dakota Acres 1<sup>st</sup> Addition, consisting of 28 lots and 1 outlot on 2.71 acres, as proposed by Syndicated Properties, for the following reasons:

- 1) The proposed development of 28 units on 2.71 acres meets the intent of the Comprehensive Plan Residential Mixed Use land use density objectives, being 12.9 units per acre.
- 2) The property had previously been approved for townhome development and the proposed development is very similar, in terms of site layout and land use, as the previously approved development.
- 3) The proposed development is compatible with the adjacent land uses.

And noting that the lots shall be subject to the requirements of the R-4 Medium Density Residential Zoning District except as follows:

	<b>R4 District Requirements</b>	<b>Approved for Dakota Acres 1<sup>st</sup> Addition</b>
<b>Permitted Uses</b>	Multiple Family Dwellings Containing more than 8 units	Multiple Family Dwellings containing less than 8 units, as depicted on plans dated 6/21/18
<b>Front setback to curb of private street</b>	30'	3' for single unit building 20' for all 4-unit and 7-unit buildings
<b>Setback between buildings</b>	20'	10' to 55' (25' average) as depicted on plans dated 6/21/18
<b>Setback to periphery property lines</b>	30'	5' along west side, as depicted on plans dated 6/21/18
<b>Setback to major collector street</b>	50'	30'
<b>Easements</b>	10' along perimeter and 5' along interior lot lines	Not required along western property line or interior lot lines
<b>Building Design/Exterior Finish 11-25D-8</b>	Minimum 25% of all building facades shall have an exterior of brick, stucco or stone	Stone on front and sides of buildings, as depicted on proposed building elevations dated 11/19/17.
<b>Garage Stall Area &amp; Width</b>	Attached garage of minimum 540 sq ft & minimum width of 20'	Attached garages of 418 sq ft minimum & 19' minimum width

And noting the following improved subdivision design elements:

- 1) The proposed open space and recreation areas designated for the project residents will exceed the minimum area required by City Code.

- 2) The landscaping plan exceeds the minimum requirements of City Code by providing more than the minimum required number of trees, and also provides for an aesthetically pleasing variety of trees and plantings through the site.

And with the following conditions:

- 1) PUD and Preliminary plat approval is granted in accordance with the following drawings: Preliminary Plat drawing prepared by Stantec and dated 6/20/18, Preliminary Grading & Construction plans containing 7 sheets prepared by Larsen Engineering and dated 6/21/18, Landscaping plan prepared by RHA Architects and dated 8/15/16, Building elevations and sample floor plans prepared by RHA Architects and dated 11/19/17 (7-unit, 4-unit and 1-unit buildings).
- 2) The civil plans must address comments of City staff as depicted on the drawing dated 6/21/18 and the landscape plan must be corrected to address comments of City staff as depicted on drawing dated 6/20/18, both on file with the Elko New Market Community Development office.
- 3) Syndicated Properties must enter into a Developer's Agreement with the City of Elko New Market at the time of final plat approval.
- 4) The proposed development must be added to the Dakota Acres Townhome Association, or a new Townhome Association must be formed. If a new association is formed, it must work out an agreement for access through the two existing private drives (Oriole and Cardinal Streets) with the Dakota Acres Townhome Association.
- 5) The applicant must comply with the recommendations of the City Engineer, Public Works Director and City Attorney.
- 6) A park dedication fee in lieu of land dedication is being required.
- 7) An in-ground irrigation system is required.
- 8) Additional access to James Parkway and Dakota Avenue will not be permitted.
- 9) Drainage and utility easements must be provided for the sanitary sewer and water main lines running through the site.
- 10) Ground level patios must be provided for all townhome units. Patios shall not exceed 8' x 8' in size and may not encroach into adjacent properties, except that they may encroach into the common area outlot subject to the same being permitted by the homeowners association. Privacy fences constructed of wood, vinyl or brick and of consistent design shall be provided between rear yard patio areas prior to issuance of a certificate of occupancy. 3 and 4 season porch additions may not be added to the townhome units.
- 11) Developer shall work with the Elko New Market Postmaster to find an acceptable location within the development for mailbox banks. Mailboxes shall be moved off of James Parkway.
- 12) Townhome buildings shall contain not less than three earthtone colors. Adjacent townhome buildings on the same side of the street shall not be of identical color.
- 13) A lighting plan meeting the requirements of City Code must be submitted for review by City staff. The lighting plan shall utilize the Domus style fixture or visually equivalent.
- 14) Garbage receptacles shall be stored within garages or fully screened from view.

And noting that:

- 1) The conditions contained in the Dakota Acres Development Contracts, recorded in the Office of the Scott County Recorder as Documents #736584 and #771917 are released upon rezoning of the property to PUD and no longer apply.

**Attachments:**

Location map  
Aerial overlay

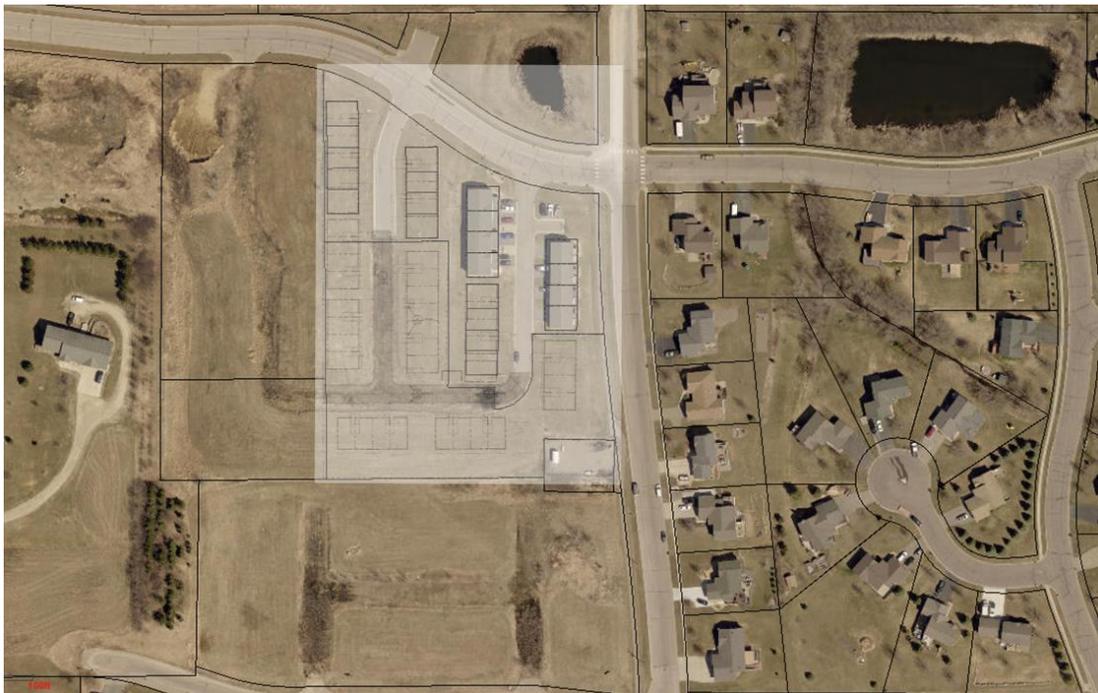
Dakota Acres 1<sup>st</sup> Addition – Rezoning & Preliminary Plat Application

Page 13 of 16

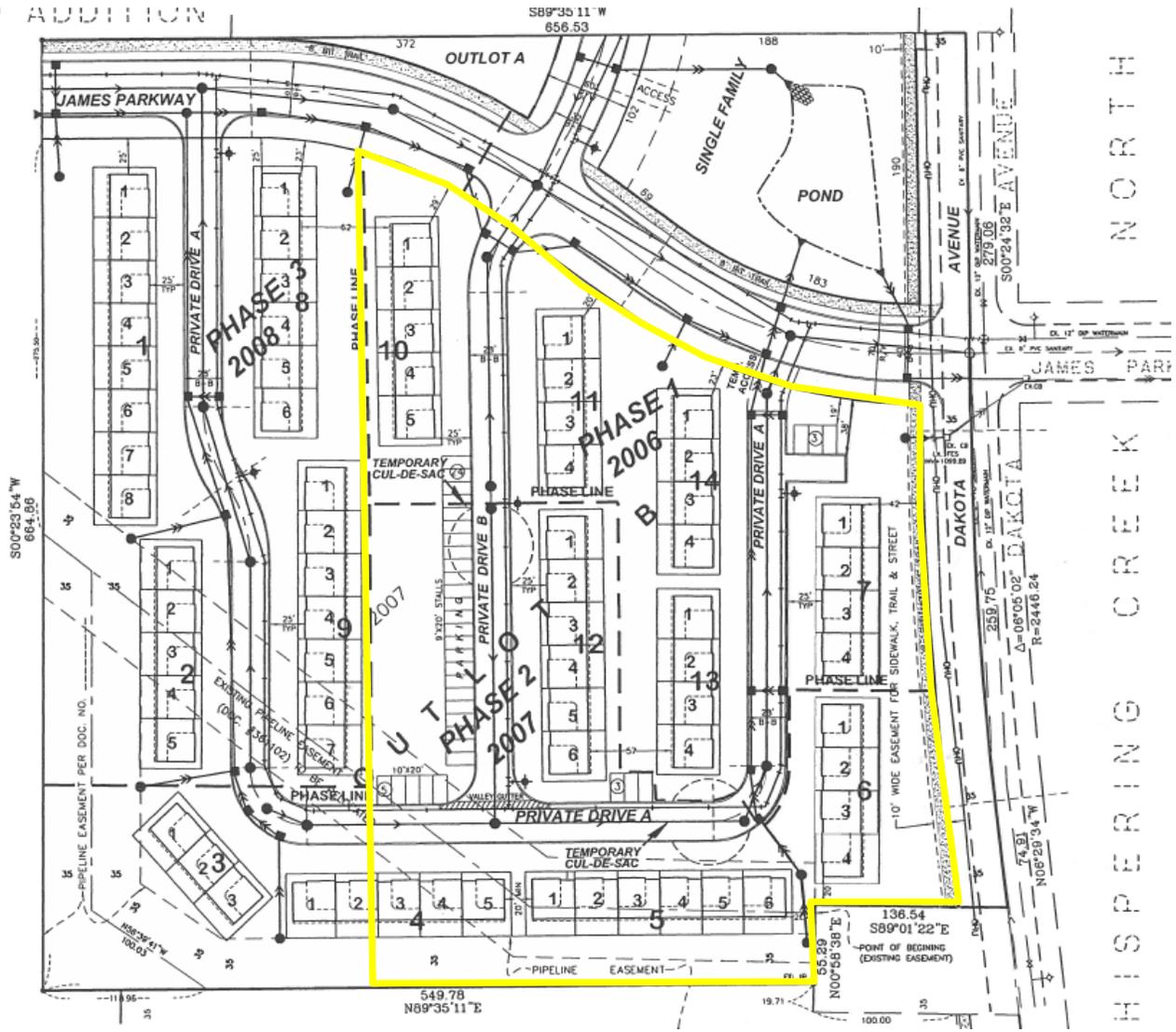
June 26, 2018

Preliminary & Final Plat Drawings dated 6/20/18  
Preliminary Grading & Utility Plan containing 7 sheets dated 6/21/18  
Landscaping plan prepared by RHA Architects and dated 8/15/16  
Building elevations and sample floor plans prepared by RHA Architects and dated 11/19/17 (7-unit, 4-unit and 1-unit buildings)

**Location Map**  
**Dakota Acres 1<sup>st</sup> Addition**  
**Proposed 20 Lot Residential Subdivision**

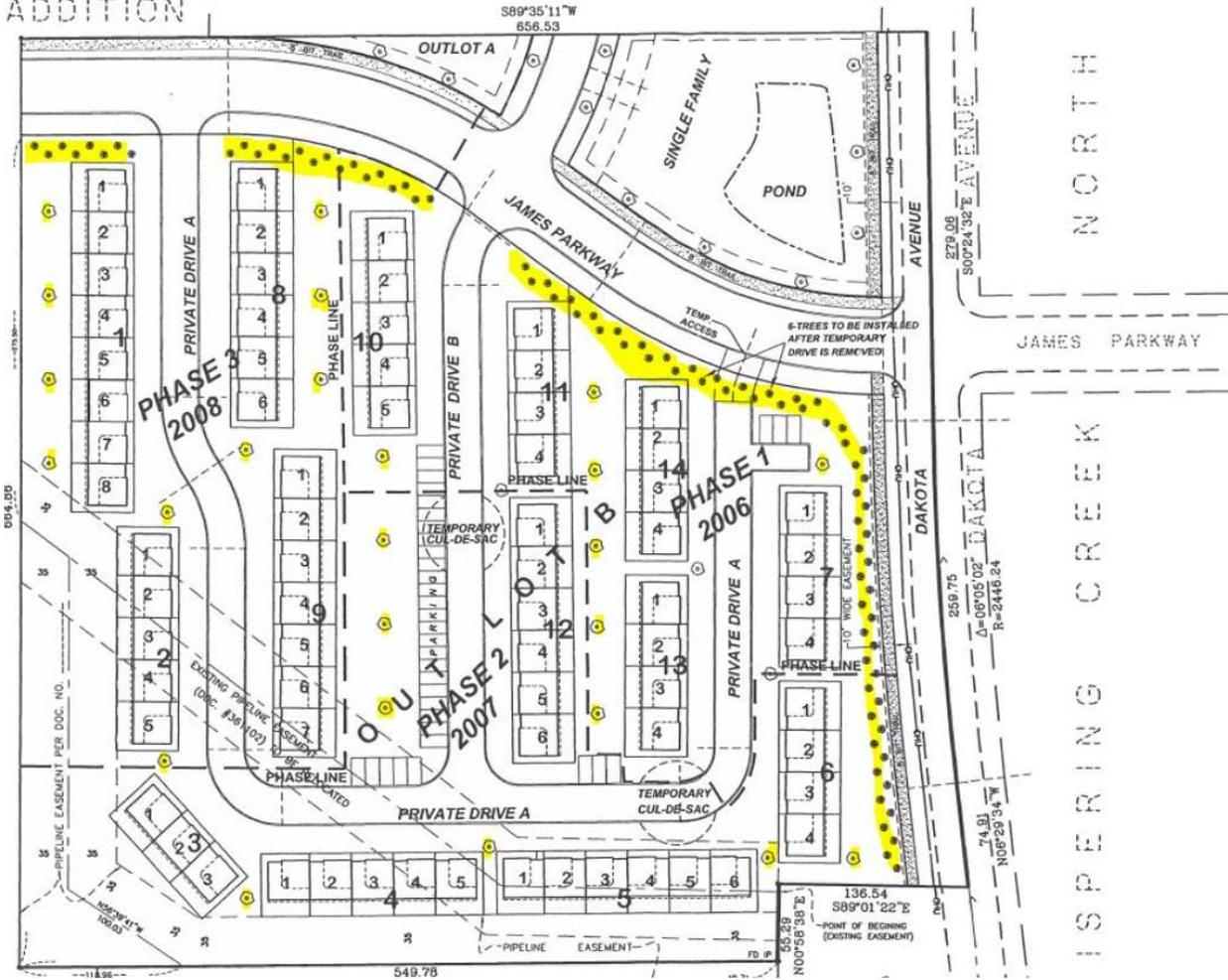


**Aerial Overlay**



Currently approved development plan

ADDITION



☉ SHADE TREES ( Deciduous ) TOTAL = 38

★ EVERGREENS ( Coniferous ) TOTAL = 77

6 of the 77 Evergreens to be installed after the Temporary Drive is Removed.

Currently approved landscape plan



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND BE RESPONSIBLE FOR THE PRODUCTION OF THE CONCRETE FOUNDATIONS AND DRAINAGE. THE CONTRACTOR SHALL VERIFY THE PRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 06/20/2018 - 3:34pm  
 Drawing Name: 193804152.dwg  
 Drawing Path: C:\Users\lbr2\OneDrive\Stantec\Acres\193804152\_V401.dwg  
 User: lbr2  
 Date: 193804152.dwg  
 Project: 193804152.dwg  
 User: lbr2

# PRELIMINARY PLAT/PUD OF DAKOTA ACRES 1ST ADDITION

Land Surveyor:  
 Linda H. Brown  
 MN License No. 23682  
 Stantec Consulting  
 3717 23rd Street South  
 St. Cloud, MN 56301  
 320-229-5535

Owner/Developer:  
 Larry Gensmer  
 Syndicated Properties, LLC  
 PO Box 190  
 Prior Lake, MN 55372



St. Cloud Office  
 3717 23rd Street South  
 Saint Cloud, MN 56301  
 Phone: 320-251-4653  
 Fax: 320-251-4252  
 Website: www.stantec.com

REVISION	DATE	BY	DESCRIPTION
1	5/2/2018	REH	Added dimensions from buildings to lot lines
2	6/20/2018	REH	Additional dimensions and Dakota Ave R/W

REVISION	DATE	BY	DESCRIPTION
1	5/2/2018	REH	Added dimensions from buildings to lot lines
2	6/20/2018	REH	Additional dimensions and Dakota Ave R/W

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR SURVEY WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: LINDA H. BROWN  
 SIGNATURE: *Linda H. Brown*  
 DATE: 5/7/2018  
 LIC. NO. 23682

SYNDICATED PROPERTIES  
 PRELIMINARY PLAT OF DAKOTA ACRES 1ST ADDITION  
 PROJECT NUMBER: 193804152  
 SHEET NUMBER: V401

## LEGAL DESCRIPTION

Outlot C, DAKOTA ACRES, according to the recorded plat thereof, Scott County, Minnesota, except that part lying westerly of the east line of Outlot D, said DAKOTA ACRES and its southerly extension.

That part of Outlot B, DAKOTA ACRES, according to the recorded plat thereof, Scott County, Minnesota, described as follows: Commencing at the most northerly corner of said Outlot B; thence South 00 degrees 24 minutes 49 seconds East, assumed bearing, along a west line of said Outlot B, a distance of 245.75 feet to a southwest corner of said Outlot B; thence North 89 degrees 35 minutes 11 seconds East, along a south line of said Outlot B, a distance of 6.02 feet to the point of beginning; thence North 00 degrees 24 minutes 49 seconds West, a distance of 31.56 feet; thence North 89 degrees 35 minutes 11 seconds East, a distance of 45.00 feet; thence South 00 degrees 24 minutes 49 seconds East, a distance of 31.56 feet to said south line of Outlot B; thence South 89 degrees 35 minutes 11 seconds West, along said south line of Outlot B, a distance of 45.00 feet to the point of beginning.

AND  
 The south 20.50 feet of Lot 1, Block 2, DAKOTA ACRES, according to the recorded plat thereof, Scott County, Minnesota and that part of Outlot B, said DAKOTA ACRES, described as follows: Beginning at the southeast corner of said Lot 1; thence South 00 degrees 23 minutes 54 seconds West, along the southerly extension of the east line of said Lot 1, a distance of 9.75 feet; thence South 31 degrees 53 minutes 32 seconds West, a distance of 8.92 feet to a southwest corner of said Outlot B; thence North 89 degrees 36 minutes 06 seconds West, along a south line of said Outlot B, a distance of 40.34 feet; thence North 00 degrees 23 minutes 54 seconds West, a distance of 17.36 feet to the southwest corner of said Lot 1; thence South 89 degrees 36 minutes 06 seconds East, along the south line of said Lot 1, a distance of 45.00 feet to the point of beginning.

## SURVEYOR NOTES:

- The subject property total area = 94,482 SF +/- or 2.17 Acres +/-
- 28 Multi-Family Units area = 31,556 SF +/- or 0.72 Acres +/-
- Outlot A area = 62,926 SF +/- or 1.45 Acres +/-

-The subject property is Zoned: PUD per Official Zoning Map for the City of Elko New Market dated April 2, 2018

- Setbacks per previous PUD/Preliminary Plat of Dakota Acres:
- Multi-Family Front...25 feet from the back of curb
  - Multi-Family Side...20 feet between building foundations or 20 feet from the back of curb on Private Drive
  - Multi-Family Rear...30 feet from the boundary line or R/W on Dakota Avenue (20 feet to deck)
  - Multi-Family...20 feet from R/W on James Parkway (Building foundation or deck)

Proposed Zoning: PUD - to reflect plan as submitted

Wetlands  
 -There are no wetlands on the subject property per Scott County GIS.

Floodplain  
 -The subject property is located in Zone X, areas determined to be outside the 500 year floodplain, per Flood Insurance Rate Map 270428 0125 dated February 19, 1987.

Encroachments  
 -There were no obvious encroachments discovered at the time of this survey.

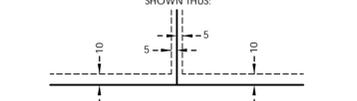
Topography  
 -The subject property topographic data was obtained by Stantec Consulting in December 2017.

Tree Inventory/Site Vegetation  
 -The subject property has no trees. The site is primarily grassland and cropland.

Benchmark  
 -GSID Station #30198, MnDot Name: DEUCE MNDOT

Elevation = 1129.013 (NAVD 88)  
 -Scott County Coordinates NAD83(1986) = N136946.685 E504630.782

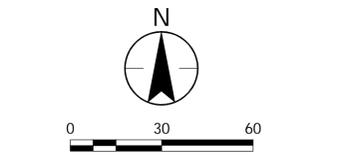
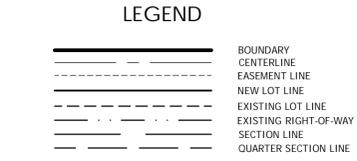
## DRAINAGE & UTILITY EASEMENTS



Being 10 feet in width and adjoining Right-of-Way lines and rear lot lines unless otherwise indicated, also being 5 feet in width and adjoining side lot lines, unless otherwise indicated, as shown on this plat.

## BEARING ORIENTATION

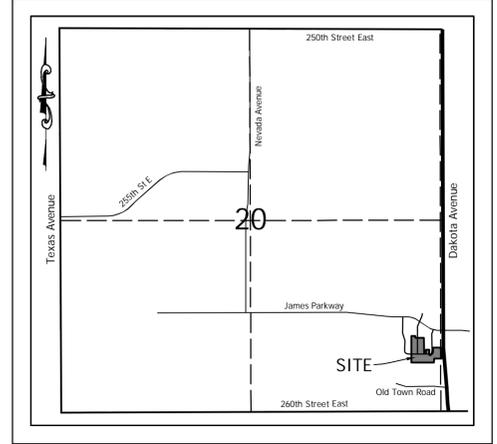
Orientation of this bearing system is based on the east line of the Southwest Quarter of Section 20, Township 113 North, Range 21 West and said lines is assumed to bear North 00 degrees 58 minutes 38 seconds East.



- DENOTES FOUND 1/2 INCH BY 14 INCH IRON MONUMENT SET WITH PLASTIC PLUG INSCRIBED WITH "19086" UNLESS OTHERWISE DESCRIBED
- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET WITH PLASTIC PLUG INSCRIBED WITH "STANTEC 23682"
- DENOTES SCOTT COUNTY CAST IRON MONUMENT

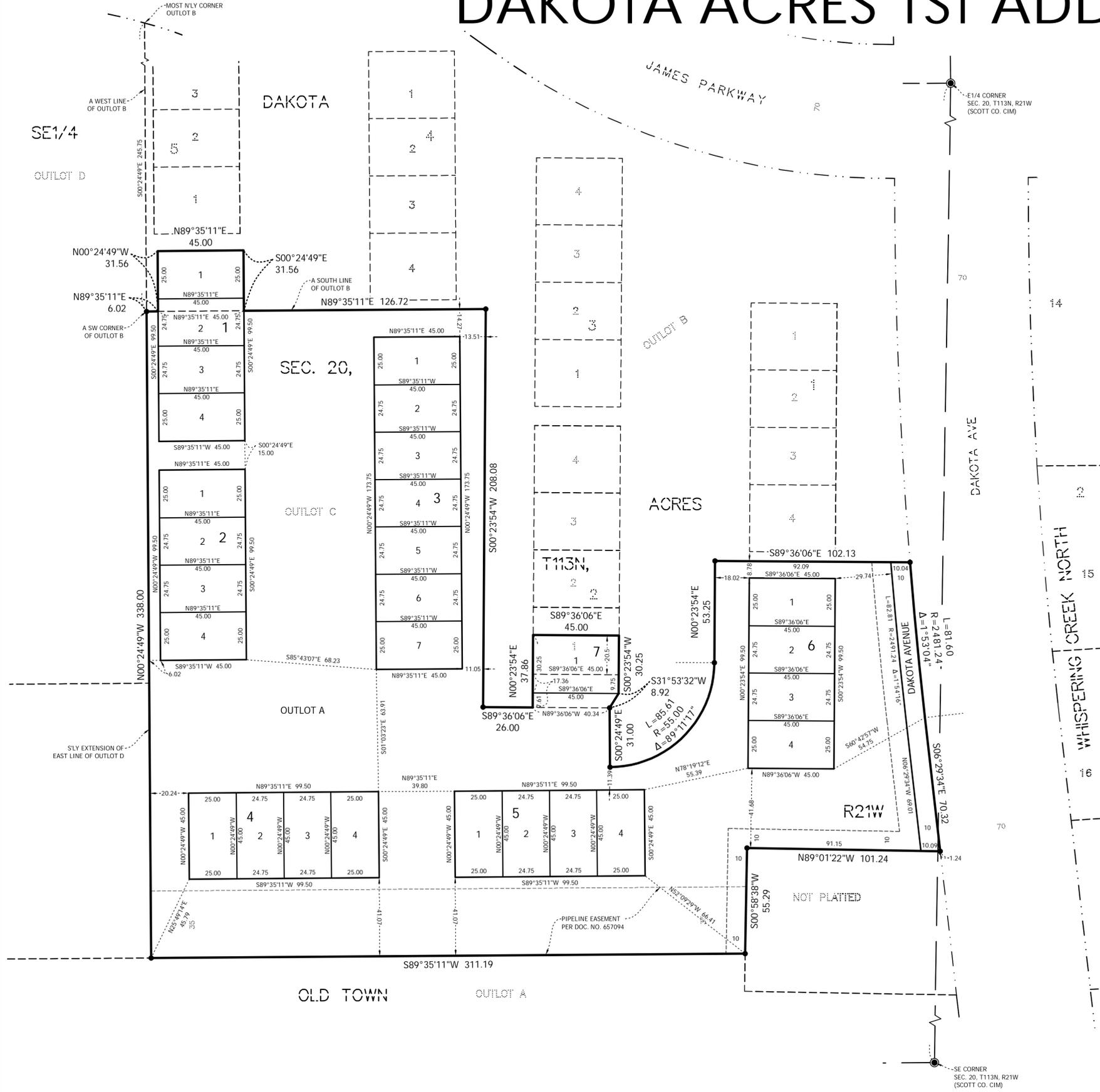
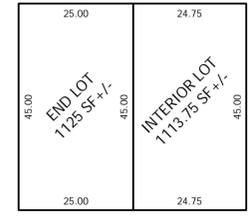
## VICINITY MAP

ELKO NEW MARKET, MN  
 NOT TO SCALE



## TYPICAL LOT SIZE & AREA

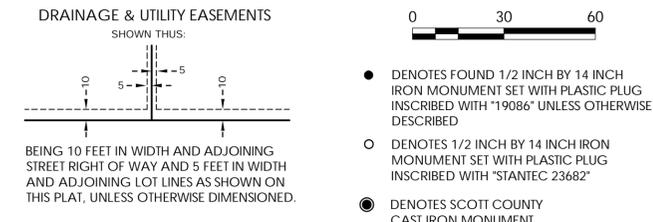
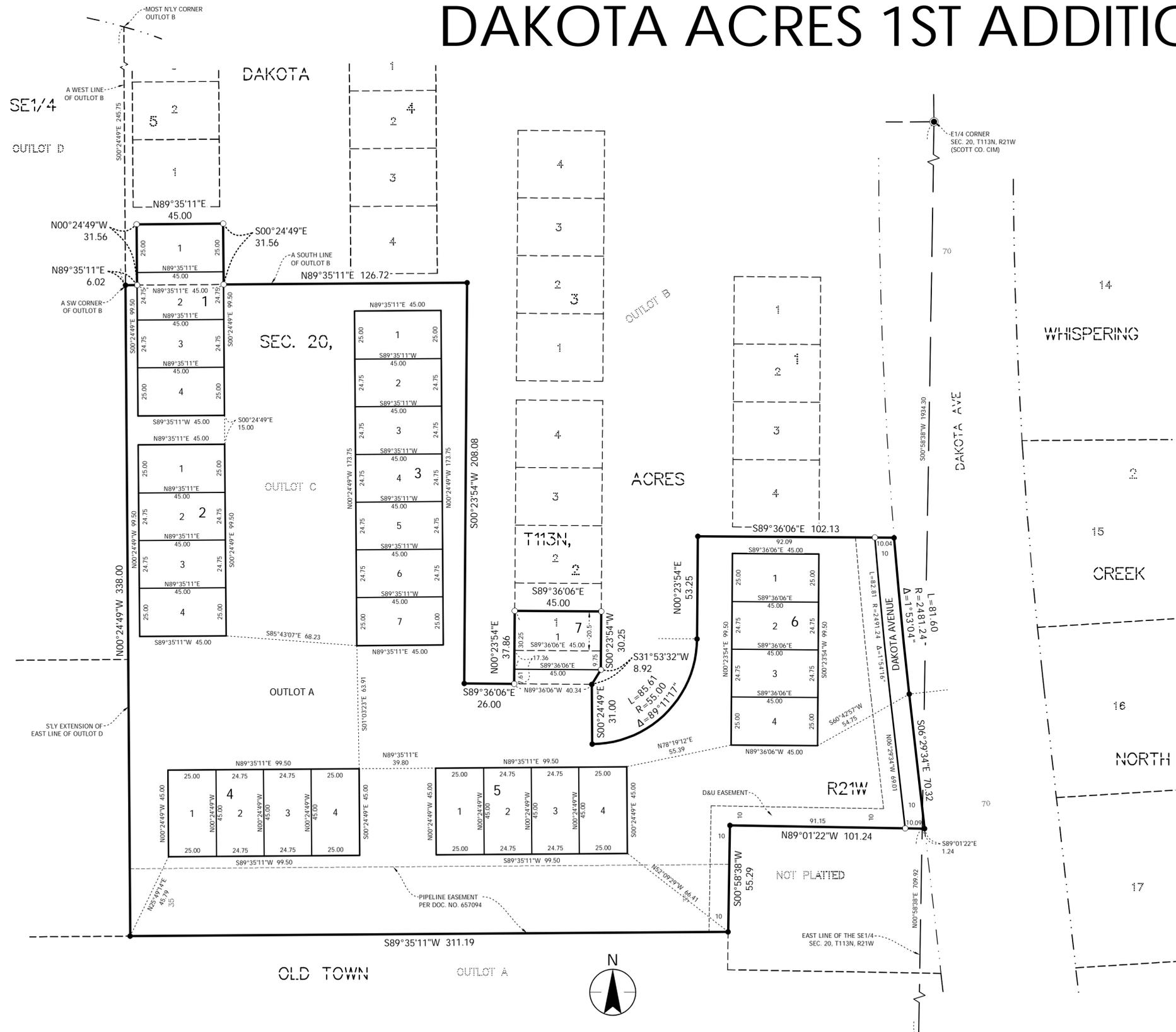
SCALE 1 IN = 20 FT



Plot Date: 06/20/2018 - 3:34pm  
 Drawing Name: 193804152.dwg  
 Drawing Path: C:\Users\lbr2\OneDrive\Stantec\Acres\193804152\_V401.dwg  
 User: lbr2  
 Date: 193804152.dwg  
 Project: 193804152.dwg  
 User: lbr2

# DAKOTA ACRES 1ST ADDITION

LOT AREA: SF +/-  
**BLOCK 1**  
 LOT 1...1,125  
 LOT 2...1,114  
 LOT 3...1,114  
 LOT 4...1,125  
**BLOCK 2**  
 LOT 1...1,125  
 LOT 2...1,114  
 LOT 3...1,114  
 LOT 4...1,125  
**BLOCK 3**  
 LOT 1...1,125  
 LOT 2...1,114  
 LOT 3...1,114  
 LOT 4...1,114  
 LOT 5...1,114  
 LOT 6...1,114  
 LOT 7...1,125  
**BLOCK 4**  
 LOT 1...1,125  
 LOT 2...1,114  
 LOT 3...1,114  
 LOT 4...1,125  
**BLOCK 5**  
 LOT 1...1,125  
 LOT 2...1,114  
 LOT 3...1,114  
 LOT 4...1,125  
**BLOCK 6**  
 LOT 1...1,125  
 LOT 2...1,114  
 LOT 3...1,114  
 LOT 4...1,125  
**BLOCK 7**  
 LOT 1...1,361  
**OUTLOTS**  
 A...61,407 OR  
 1.41 AC +/-  
**DAKOTA AVE**  
 1518 OR 0.3 AC +/-  
**TOTAL AREA**  
 94,471 OR  
 2.17 AC +/-



KNOW ALL MEN BY THESE PRESENTS: That Syndicated Properties, LLC, a limited liability company, under the laws of Minnesota, owners of record of the following described property, situated in the County of Scott, State of Minnesota, to-wit:

Outlot C, DAKOTA ACRES, according to the recorded plat thereof, Scott County, Minnesota, except that part lying westerly of the east line of Outlot D, said DAKOTA ACRES and its southerly extension.

AND

That part of Outlot B, DAKOTA ACRES, according to the recorded plat thereof, Scott County, Minnesota, described as follows: Commencing at the most northerly corner of said Outlot B; thence South 00 degrees 24 minutes 49 seconds East, assumed bearing, along a west line of said Outlot B, a distance of 245.75 feet to a southwest corner of said Outlot B; thence North 89 degrees 35 minutes 11 seconds East, along a south line of said Outlot B, a distance of 6.02 feet to the point of beginning; thence North 00 degrees 24 minutes 49 seconds West, a distance of 31.56 feet; thence North 89 degrees 35 minutes 11 seconds East, a distance of 45.00 feet; thence South 00 degrees 24 minutes 49 seconds East, a distance of 31.56 feet to said south line of Outlot B; thence South 89 degrees 35 minutes 11 seconds West, along said south line of Outlot B, a distance of 45.00 feet to the point of beginning.

AND

The south 20.50 feet of Lot 1, Block 2, DAKOTA ACRES, according to the recorded plat thereof, Scott County, Minnesota and that part of Outlot B, said DAKOTA ACRES, described as follows: Beginning at the southeast corner of said Lot 1; thence South 00 degrees 23 minutes 54 seconds West, along the southerly extension of the east line of said Lot 1, a distance of 9.75 feet; thence South 31 degrees 53 minutes 32 seconds West, a distance of 8.92 feet to a southwest corner of said Outlot B; thence North 89 degrees 36 minutes 06 seconds West, along a south line of said Outlot B, a distance of 40.34 feet; thence North 00 degrees 23 minutes 54 seconds West, a distance of 17.36 feet to the southwest corner of said Lot 1; thence South 89 degrees 36 minutes 06 seconds East, along the south line of said Lot 1, a distance of 45.00 feet to the point of beginning.

Have caused the same to be surveyed and platted as DAKOTA ACRES 1ST ADDITION, and do hereby dedicate and donate to the public for public use forever the easements as shown on this plat for drainage and utility purposes only.

In witness whereof said Syndicated Properties, LLC, a limited liability company, under the laws of Minnesota, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Syndicated Properties, LLC

STATE OF MINNESOTA  
 COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ of \_\_\_\_\_, a limited liability company, under the laws of Minnesota, on behalf of the company.

\_\_\_\_\_  
 (Notary Signature)  
 \_\_\_\_\_  
 (Notary Printed Name)

NOTARY PUBLIC, \_\_\_\_\_ COUNTY, MINNESOTA

MY COMMISSION EXPIRES \_\_\_\_\_

SURVEYOR

I hereby certify: that I have surveyed and platted the land described on this plat as DAKOTA ACRES 1ST ADDITION; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly stated on the plat; that all outside boundary monuments of the plat have been correctly set and that all other required monuments will be correctly set within one year of the recording of this plat; that as of the date of this certificate, all water boundaries and wet lands, as defined in Minnesota Statutes 505.01, Subd. 3, are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

LINDA H. BROWN, LICENSED LAND SURVEYOR  
 MINNESOTA LICENSE NUMBER 23682

STATE OF MINNESOTA  
 COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by LINDA H. BROWN, Licensed Land Surveyor, Minnesota License Number 23682.

\_\_\_\_\_  
 (Notary Signature)  
 \_\_\_\_\_  
 (Notary Printed Name)

NOTARY PUBLIC, \_\_\_\_\_ COUNTY, MINNESOTA

MY COMMISSION EXPIRES \_\_\_\_\_

CITY ATTORNEY, NEW MARKET, MINNESOTA

I hereby certify that I have examined this plat of DAKOTA ACRES 1ST ADDITION and hereby recommend this plat for approval as to form this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By \_\_\_\_\_, City Attorney, New Market, Minnesota

CITY COUNCIL, ELKO NEW MARKET, MINNESOTA

This plat of DAKOTA ACRES 1ST ADDITION was approved and accepted by the City Council of Elko New Market, Minnesota at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By \_\_\_\_\_, Mayor

By \_\_\_\_\_, City Clerk

SCOTT COUNTY SURVEYOR

Pursuant to Minnesota Statutes, Section 389.09, Subd. 1, as amended, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

STEARNS COUNTY SURVEYOR  
 MINNESOTA LICENSE NUMBER \_\_\_\_\_

SCOTT COUNTY AUDITOR/TREASURER

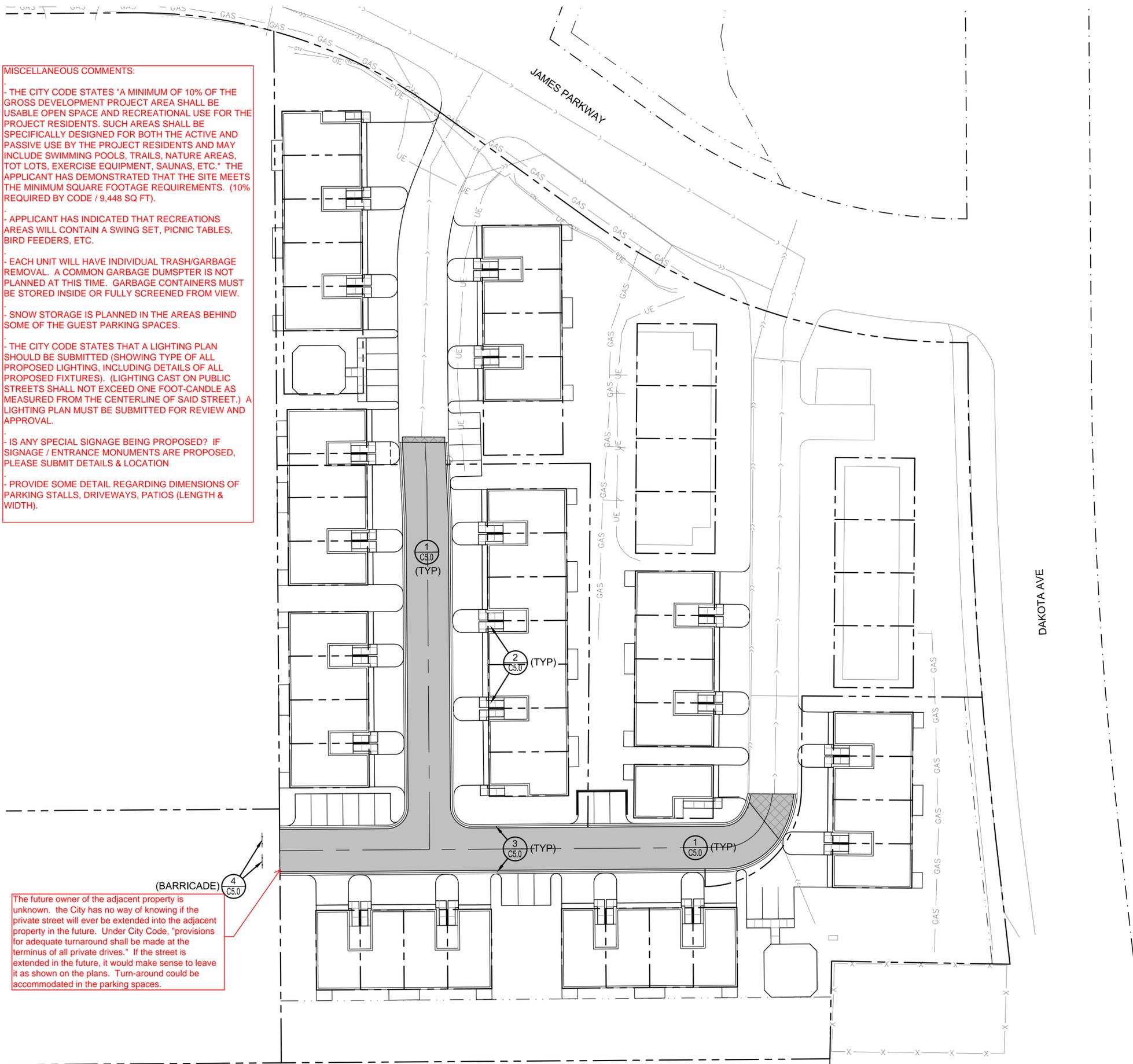
I hereby certify that the current and delinquent taxes on the land described within are paid and the transfer is entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

DEPUTY

SCOTT COUNTY RECORDER

I hereby certify that plat was filed in this office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and duly recorded as Document No. \_\_\_\_\_.

SCOTT COUNTY RECORDER



**MISCELLANEOUS COMMENTS:**

- THE CITY CODE STATES "A MINIMUM OF 10% OF THE GROSS DEVELOPMENT PROJECT AREA SHALL BE USABLE OPEN SPACE AND RECREATIONAL USE FOR THE PROJECT RESIDENTS. SUCH AREAS SHALL BE SPECIFICALLY DESIGNED FOR BOTH THE ACTIVE AND PASSIVE USE BY THE PROJECT RESIDENTS AND MAY INCLUDE SWIMMING POOLS, TRAILS, NATURE AREAS, TOT LOTS, EXERCISE EQUIPMENT, SAUNAS, ETC." THE APPLICANT HAS DEMONSTRATED THAT THE SITE MEETS THE MINIMUM SQUARE FOOTAGE REQUIREMENTS. (10% REQUIRED BY CODE / 9,448 SQ FT).
- APPLICANT HAS INDICATED THAT RECREATIONS AREAS WILL CONTAIN A SWING SET, PICNIC TABLES, BIRD FEEDERS, ETC.
- EACH UNIT WILL HAVE INDIVIDUAL TRASH/GARBAGE REMOVAL. A COMMON GARBAGE DUMSPTER IS NOT PLANNED AT THIS TIME. GARBAGE CONTAINERS MUST BE STORED INSIDE OR FULLY SCREENED FROM VIEW.
- SNOW STORAGE IS PLANNED IN THE AREAS BEHIND SOME OF THE GUEST PARKING SPACES.
- THE CITY CODE STATES THAT A LIGHTING PLAN SHOULD BE SUBMITTED (SHOWING TYPE OF ALL PROPOSED LIGHTING, INCLUDING DETAILS OF ALL PROPOSED FIXTURES). (LIGHTING CAST ON PUBLIC STREETS SHALL NOT EXCEED ONE FOOT-CANDLE AS MEASURED FROM THE CENTERLINE OF SAID STREET.) A LIGHTING PLAN MUST BE SUBMITTED FOR REVIEW AND APPROVAL.
- IS ANY SPECIAL SIGNAGE BEING PROPOSED? IF SIGNAGE / ENTRANCE MONUMENTS ARE PROPOSED, PLEASE SUBMIT DETAILS & LOCATION
- PROVIDE SOME DETAIL REGARDING DIMENSIONS OF PARKING STALLS, DRIVEWAYS, PATIOS (LENGTH & WIDTH).

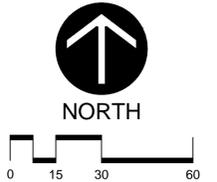
The future owner of the adjacent property is unknown. the City has no way of knowing if the private street will ever be extended into the adjacent property in the future. Under City Code, "provisions for adequate turnaround shall be made at the terminus of all private drives." If the street is extended in the future, it would make sense to leave it as shown on the plans. Turn-around could be accommodated in the parking spaces.

**SYMBOL LEGEND**

- NEW 3.5" BITUMINOUS PAVEMENT OVER NEW 6" AGGREGATE BASE OVER NEW 24" SELECT GRANULAR BORROW SEE DETAIL 1/C5.0
- REMOVE AND REPLACE EXISTING BITUMINOUS PAVEMENT SECTION SEE DETAIL 1/C5.0
- NEW 6" CONCRETE PAVEMENT OVER NEW 6" AGGREGATE BASE SEE DETAIL 2/C5.0

**DEMOLITION NOTES**

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State Onecall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.



**Larson Engineering, Inc.**  
 816 W. St. Germain Street  
 Suite 308  
 St. Cloud, MN 56301  
 320.774.1944  
 www.larsonengr.com  
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Client:  
**SYNDICATED PROPERTIES, LLC**  
 DAKOTA ACRES  
 ELKO, MN

Project Title:  
**2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT**  
 ELKO, MN

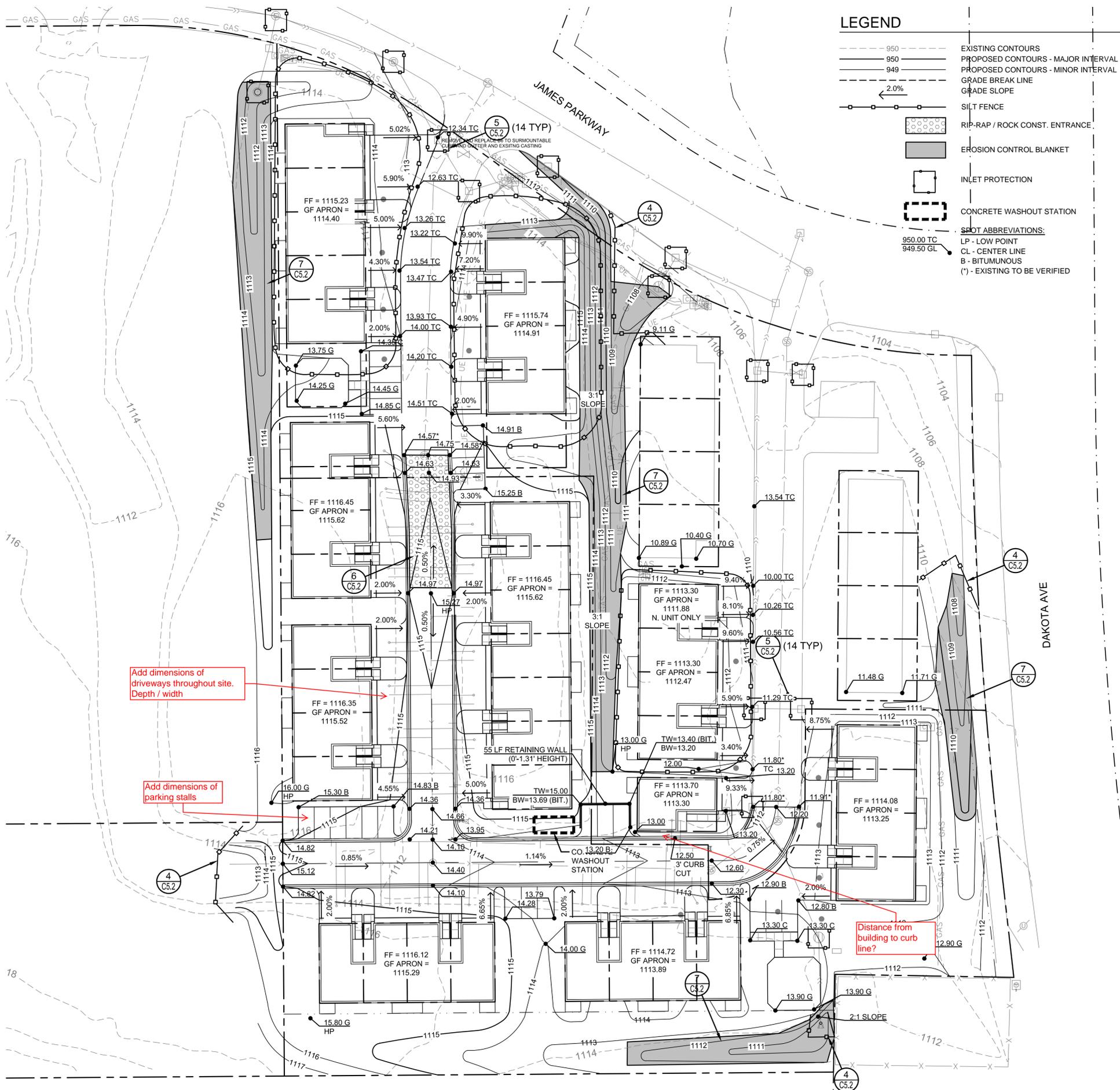
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.  
*Thomas J. Herkenhoff*  
 Thomas J. Herkenhoff, P.E.  
 Date: 06.21.18 Reg. No.: 25520

Rev.	Date	Description

Project #: 12186003  
 Drawn By: KBK  
 Checked By: TJH  
 Issue Date: 06.21.18  
 Sheet Title:

**DEMOLITION AND PAVING PLAN**

**C1.0**



### LEGEND

- - - 950 EXISTING CONTOURS
- 950 PROPOSED CONTOURS - MAJOR INTERVAL
- - - 949 PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- 2.0% GRADE SLOPE
- SILT FENCE
- ▨ RIP-RAP / ROCK CONST. ENTRANCE
- ▩ EROSION CONTROL BLANKET
- INLET PROTECTION
- ▭ CONCRETE WASHOUT STATION

**SPOT ABBREVIATIONS:**

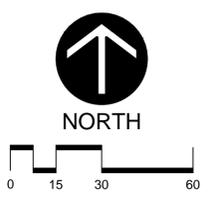
- LP - LOW POINT
- CL - CENTER LINE
- B - BITUMUNOUS
- (\*) - EXISTING TO BE VERIFIED

### EROSION CONTROL NOTES

- Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 5' into the construction zone.
- The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
- Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.

### GRADING NOTES

- All elevations with an asterisk (\*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Restore all disturbed areas with 6" of good quality topsoil and seed.
- All construction shall be performed in accordance with state and local standard specifications for construction.
- Place erosion control fabric on all slopes 4:1 and greater.
- The project intent is to balance cuts and fill volumes on site. Reference shaded area for placement location of excess fill material.



Add dimensions of driveways throughout site. Depth / width

Add dimensions of parking stalls

Distance from building to curb line?

**Larson Engineering, Inc.**  
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 St. Cloud, MN 56301  
 320.774.1944  
 www.larsonengr.com

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Client: **SYNDICATED PROPERTIES, LLC**  
 DAKOTA ACRES  
 ELKO, MN

Project Title: **2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT ELKO, MN**

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

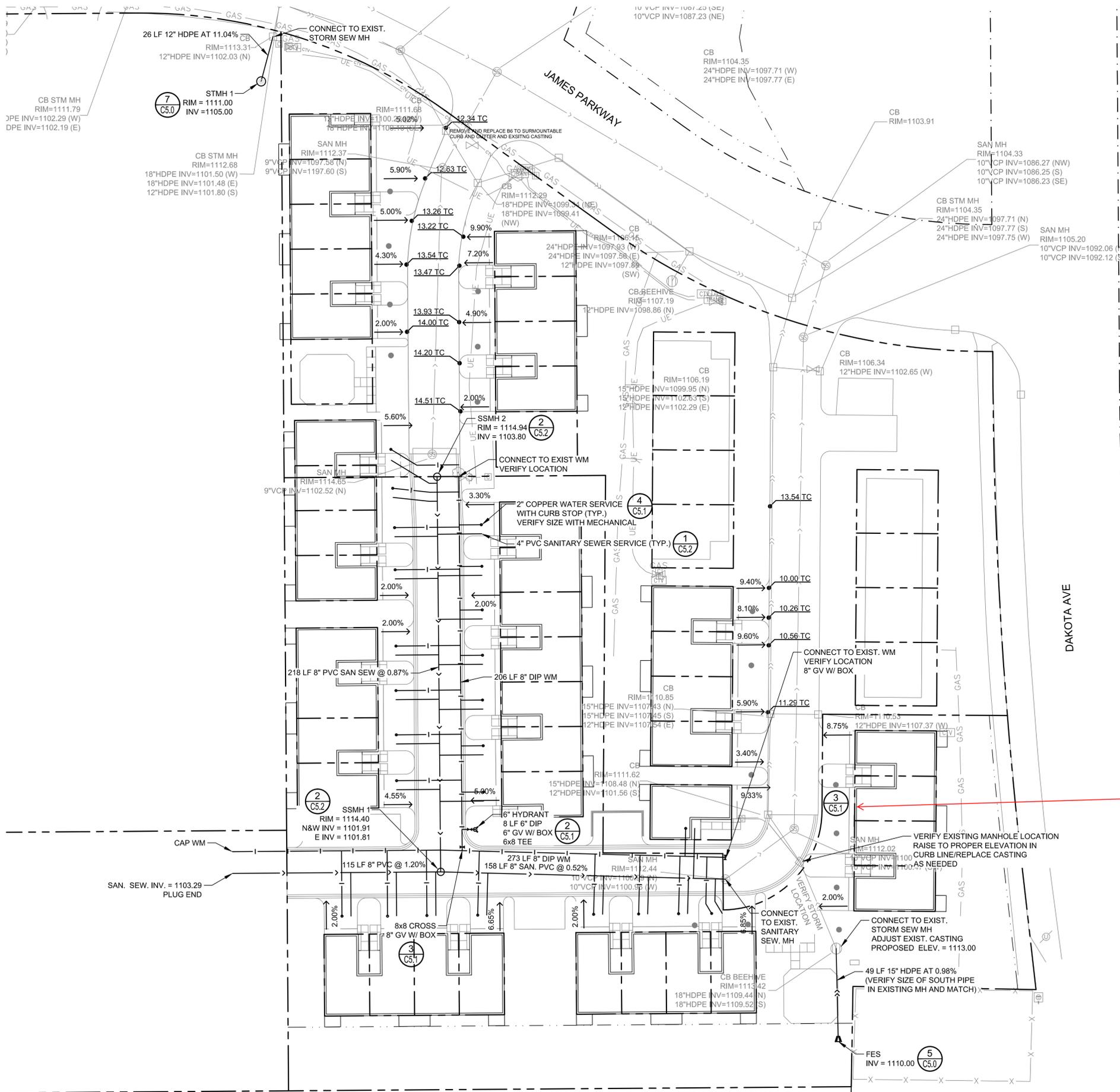
*Thomas J. Herkenhoff*  
 Thomas J. Herkenhoff, P.E.  
 Date: 06.21.18 Reg. No.: 25520

Rev.	Date	Description

Project #: 12186003  
 Drawn By: KBK  
 Checked By: TJH  
 Issue Date: 06.21.18  
 Sheet Title:

### GRADING AND EROSION CONTROL PLAN

# C2.0



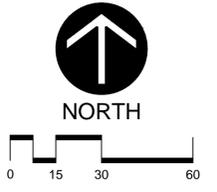
**LEGEND**

- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- ▲ FLARED END
- SANITARY MANHOLE
- ⊕ HYDRANT
- ⊗ GATE VALVE & BOX
- ⊗ WATER SHUTOFF
- ☀ LIGHT POLE
- CTV
- OE
- FO
- CABLE UNDERGROUND LINE
- ELECTRIC OVERHEAD LINE
- ELECTRIC UNDERGROUND LINE
- FIBER OPTIC UNDERGROUND LINE
- NATURAL GAS UNDERGROUND LINE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRAIN TILE PIPE

**UTILITY NOTES**

1. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
2. All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
3. The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
4. The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
5. Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
6. HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
7. All RCP pipe shown on the plans shall be MN/DOT class 3.
8. Maintain a minimum of 7 1/2" of cover over all water lines and sanitary sewer lines. Install water lines 18" above sanitary sewers, where the sanitary sewer crosses over the water line, install sewer piping of materials equal to watermain standards for 9 feet on both sides and maintain 18" of separation.
9. Where 7 1/2" of cover is not provided over sanitary sewer and water lines, install 2" rigid polystyrene insulation (MN/DOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5', use 4" of insulation.
10. All watermain piping shall be class 52 ductile iron pipe unless noted otherwise.
11. See Project Specifications for bedding requirements.
12. Pressure test and disinfect all new watermains in accordance with state and local requirements.
13. Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.
14. A structure adjustment shall include removing and salvaging the existing casting assembly, removing existing concrete rings to the precast section. Install new rings and salvaged casting to proposed grades, cleaning casting flange by mechanical means to insure a sound surface and install an external chimney seal from casting to precast section. Chimney seals shall be Infi-Shield Uni-Band or an approved equal.

Are utility services for this building already in? Were they installed during the initial development construction? Verify services and locations.



PRELIMINARY NOT FOR CONSTRUCTION

**Larson Engineering, Inc.**  
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**SYNDICATED PROPERTIES, LLC**  
 DAKOTA ACRES  
 ELKO, MN

**2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT**  
 ELKO, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

*Thomas J. Herkenhoff*  
 Thomas J. Herkenhoff, P.E.  
 Date: 06.21.18 Reg. No.: 25520

Rev.	Date	Description

Project #: 12186003  
 Drawn By: KBK  
 Checked By: TJH  
 Issue Date: 06.21.18  
 Sheet Title:

UTILITY PLAN

**C3.0**

# STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE

## PROJECT DESCRIPTION / LOCATION

THE PROJECT CONSISTS OF GRADING, UTILITIES, AND ROADWAY CONSTRUCTION. THE PROJECT SITE IS LOCATED SOUTHWEST OF THE INTERSECTION OF JAMES PARKWAY AND DAKOTA AVENUE.

THE PROJECT INCLUDES:  
 \*GRADING \*INFILTRATION BASIN  
 \*UTILITIES  
 \*STORM SEWER  
 \*TURF ESTABLISHMENT

## PLANS

THE PLANS SHOW THE PROJECT LIMITS.

## ENVIRONMENTALLY SENSITIVE AREAS

NA  
 PUBLIC WATERS LOCATED WITHIN 1 MILE OF THE PROJECT BOUNDARY AREA IDENTIFIED IN THE TABLE BELOW.

## RECEIVING WATERS IMPAIRMENT

NA

## OUTSTANDING RESOURCE VALUE WATERS (ORVWs)

OUTSTANDING RESOURCE VALUE WATERS WITHIN 1 MILE OF THE PROJECT BOUNDARY:  
 NA

## CALCAREOUS FENS

THERE ARE NO CALCAREOUS FENS WITHIN 1 MILE OF THE PROJECT BOUNDARY.

## ARCHAEOLOGICAL, HISTORICAL, AND ARCHITECTURAL RESOURCES

THERE ARE NO ARCHAEOLOGICAL, HISTORICAL, OR ARCHITECTURAL RESOURCES WITHIN THE PROJECT BOUNDARY.

## ENDANGERED AND THREATENED SPECIES REVIEW

THERE ARE NO ENDANGERED OR THREATENED SPECIES IDENTIFIED WITHIN THE PROJECT BOUNDARY.

## TOTAL MAXIMUM DAILY LOAD (TMDL) WATERS

THERE ARE NO TMDL WATERS WITHIN 1 MILE OF THE PROJECT BOUNDARY.

## LAND FEATURE CHANGES

TOTAL PROJECT AREA DISTURBED:	3.80 ACRES
TOTAL EXISTING IMPERVIOUS SURFACE AREA:	0.00 ACRES
TOTAL EXISTING PERVIOUS SURFACE AREA:	3.80 ACRES
TOTAL PROPOSED IMPERVIOUS SURFACE AREA:	1.70 ACRES
TOTAL PROPOSED PERVIOUS SURFACE AREA:	2.10 ACRES

## TIMING OF BMP INSTALLATION

THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED AS NECESSARY TO MINIMIZE EROSION FROM DISTURBED SURFACES AND CAPTURE SEDIMENT ON SITE. EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO ANY DEMOLITION AND/OR CONSTRUCTION.

## DRAINAGE COMPUTATIONS

RUNOFF IS DIRECTED TO THE ROADWAY AND COLLECTED INTO THE STORM SEWER THEN CONNECTED TO THE EXISTING STORM SEWER SYSTEM OR DIRECTED TO THE INFILTRATION BASIN LOCATED ON THE EAST SIDE OF THE DEVELOPMENT. SEE STORM WATER MANAGEMENT REPORT.

## PROJECT CONTACTS

PROJECT ENGINEER:  
 LARSON ENGINEERING  
 TOM HERKENHOFF  
 626 19TH AVENUE SE  
 ST. CLOUD, MN 56304  
 320-428-5824

OWNER:  
 SYNDICATED PROPERTIES, LLC  
 PO BOX 190  
 PRIOR LAKE, MN 56372  
 612.968.3805

CONTRACTOR:  
 TBD

## MPCA 24 HOUR EMERGENCY NOTIFICATION:

651-649-5451  
 800-422-0798

## CONSTRUCTION NOTES

CONSTRUCTION SHALL BE GOVERNED BY THE PROJECT MANUAL. THE CONTRACTOR SHALL KEEP AND MAINTAIN THE INSPECTION AND MAINTENANCE RECORDS.

## PERMANENT STORMWATER MANAGEMENT

PERMANENT STORM WATER IS BEING TREATED BY THE INFILTRATION BASIN LOCATED ON SITE. THE OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE INFILTRATION BASIN AND UPSTREAM CATCH BASIN SUMP AFTER PROJECT COMPLETION AND ACCEPTANCE.

## SEQUENCE OF CONSTRUCTION ACTIVITIES

- INSTALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLANS.
- COMPLETE THE REMOVALS AS NOTED ON THE PLANS.
- CONSTRUCT ALL TEMPORARY SEDIMENT TRAPS.
- CONSTRUCT DOWNSTREAM STORM SEWER.
- CONDUCT SITE GRADING.
- TEMPORARILY SEED DENUDEED AREAS PER NPDES REQUIREMENTS.
- CONTINUALLY STABILIZE THE NORMAL WETTER PERIMETER OF ALL AREAS WITHIN THE 200 LINEAL FEET OF THE SURFACE WATER OR THE PROPERTY EDGE.
- COMPLETE PERMANENT STABILIZATION.

## BMP PROJECT QUANTITY ESTIMATE (QUANTITIES ARE AN ESTIMATE ONLY AND MAY VARY)

SILT FENCE:	270 LF
INLET PROTECTION:	13 EA
PERMANENT TURF ESTABLISHMENT:	2.10 AC
EROSION CONTROL BLANKET:	1,636 SY
RIPRAP:	8 CY
ROCK CONSTRUCTION ENTRANCE:	1 EA

# STORM WATER POLLUTION PREVENTION PLAN (CONSTRUCTION ACTIVITY REQUIREMENTS)

- THE CONTRACTOR WILL NEED TO IDENTIFY AN EROSION CONTROL SUPERVISOR IN GOOD STANDING WHO WILL BE KNOWLEDGEABLE AND HAS THE APPROPRIATE MPCA LICENSURE IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES.
- EROSION CONTROL MEASURES SHOWN THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL TEMPORARY EARTH DIKES, SEDIMENT TRAPS OR BASINS, ADDITIONAL SILTATION FENCING, AND/OR DISK THE SOIL PARALLEL TO THE CONTOURS AS DEEMED NECESSARY TO FURTHER CONTROL EROSION. ALL CHANGES SHALL BE RECORDED IN THE SWPPP.
- THE EROSION CONTROL SUPERVISOR WILL WORK WITH THE PROJECT ENGINEER TO OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs BEFORE, DURING AND AFTER CONSTRUCTION AS REQUIRED. THE BMP MEASURES SHALL REFERENCE CITY BMP DETAILS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE CONSTRUCTION STORMWATER PERMIT.
- THE CONTRACTOR WILL DEVELOP A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE. THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.
- THE CONTRACTOR WILL PREPARE A WRITTEN WEEKLY SCHEDULE OF PROPOSED EROSION CONTROL ACTIVITIES FOR THE PROJECT ENGINEERS APPROVAL.
- THE CONTRACTOR WILL PREPARE AND SUBMIT A SITE PLAN FOR THE FOR THE PROJECT ENGINEERS APPROVAL FOR WORK IN CRITICAL AREAS AS IDENTIFIED ON THE PLANS OR AS REQUESTED BY THE PROJECT ENGINEER.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY REMOVAL WORK AND/OR DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL THE POTENTIAL FOR EROSION HAS BEEN ELIMINATED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS OR AS REQUIRED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE THAT HAS TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITY COMPLETION.
- WORK IN DRAINAGE SWALES OR THE NORMAL WETTED PERIMETER OF ANY SURFACE WATER WILL REQUIRE STABILIZATION WITHIN 24 HOURS OF CONNECTION. THESE AREAS WILL INCLUDE ALL AREAS THAT DRAIN WATER WITHIN 200 FEET FROM THE PROPERTY EDGE OR POINT OF DISCHARGE TO ANY SURFACE WATER. RAPID STABILIZATION WILL BE USED IN THESE AREAS.
- DITCHES AND EXPOSED SOILS MUST BE KEPT IN A SMOOTH ROUGH GRADED CONDITION IN ORDER TO BE ABLE TO APPLY EROSION CONTROL MULCHES AND BLANKETS.
- ALL EXPOSED SOIL AREAS WILL BE STABILIZED PRIOR TO THE ONSET OF WINTER. ANY WORK STILL BEING PERFORMED WILL BE SNOW MULCHED, SEEDED, OR BLANKETED.
- SEDIMENT CONTROL DEVICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. THE TIMING OF THE INSTALLATION OF THE SEDIMENT CONTROL DEVICES CAN BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING AND GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL DEVICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED IN ACCORDANCE WITH THE NPDES PERMIT.
  - SILT FENCE SHALL BE INSTALLED SO THAT IT FOLLOWS AS CLOSE AS POSSIBLE TO A SINGLE CONTOUR TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS DOWN GRADIENT OF ALL EXPOSED SOILS AND PRIOR TO DISCHARGING TO SURFACE WATERS WITH THE SILT FENCE J-HOODED AT A MAXIMUM OF 100 FOOT INTERVALS AND SHALL CONTAIN NO MORE THAN 1/4 ACRE OF DRAINAGE AREA.
  - DITCH CHECKS WILL BE INSTALLED AS INDICATED ON THE PLANS DURING ALL PHASES OF CONSTRUCTION.
    - TEMPORARY DITCH CHECKS WILL CONSIST OF USING ROCK DITCH CHECKS AND ROCK WEEPERS IN FRONT OF CULVERT INLETS.
  - SEDIMENT DAMAGE FROM STOCKPILES WILL BE MINIMIZED BY PLACING A ROW OF SILT FENCE 6 FEET FROM THE TOE.
  - ALL EXPOSED STOCKPILES LEFT FOR A PERIOD OF TIME SHALL BE TEMPORARILY STABILIZED ACCORDING TO THE NPDES PERMIT REQUIREMENTS BUT IN NO CASE LATER THAN 14 DAYS.
- STREET SURFACES SHALL BE SWEEPED WITHIN 24 HOURS OF DISCOVERY OF SEDIMENT OR TRACKING WITH A VACUUM OPERATED BROOM SWEEPER. NO OPEN-BROOM SWEEPERS WILL BE ALLOWED.
- STORM SEWER INLETS WILL BE PROTECTED WITH THE APPROPRIATE BMPs FOR EACH SPECIFIC PHASE OF CONSTRUCTION.
- THE CONTRACTOR WILL COMPLY WITH THE REQUIREMENTS REGARDING POLLUTION PREVENTION MANAGEMENT DURING CONSTRUCTION, WHICH WILL INCLUDE PROVIDING:
  - CONCRETE WASHOUT FACILITIES/PROCESSES ACCORDING TO THE NPDES PERMIT REQUIREMENTS
  - SOLID WASTE COLLECTION AND REMOVAL
  - SECONDARY CONTAINMENT
  - HAZARDOUS WASTE STORAGE CONTAINERS AND SPILL KITS

\*\* INSPECT THE CONSTRUCTION SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. RAINFALL SHALL BE MEASURED USING AN ONSITE RAIN GAUGE.

- BUILDING PRODUCTS WITH POLLUTANT POTENTIAL SHALL BE STORED UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS) OR IN SECURE CABINETS TO MINIMIZE CONTACT WITH STORMWATER.
- CHEMICALS (PESTICIDES HERBICIDES, FERTILIZERS, TREATMENT CHEMICALS, ETC.) SHALL BE STORED UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS) OR IN SECURE CABINETS TO MINIMIZE CONTACT WITH STORMWATER.
- HAZARDOUS MATERIALS AND TOXIC WASTE (OIL, GAS, PAINT, ETC.) SHALL BE STORED IN SEALED CONTAINERS IN A STORAGE AREA WITH RESTRICTED ACCESS. STORAGE AREAS SHALL BE PROVIDED WITH SECONDARY CONTAINMENT PER MINNESOTA CHAPTER 7045. ALL DISPOSAL SHALL BE IN ACCORDANCE WITH STATE REGULATIONS.
- COLLECTION, STORAGE, AND DISPOSAL OF SOLID WASTE SHALL COMPLY WITH MINNESOTA ADMINISTRATIVE RULES 7035.0300 TO 7035.2915. STORAGE OF GARBAGE, REFUSE, AND OVERSIZE WASTE SHALL COMPLY WITH 7035.0700. RENOVATION AND DEMOLITION OPERATIONS SHALL COMPLY WITH 7035.0805.
- PORTABLE TOILETS SHALL BE MANAGED IN ACCORDANCE WITH MINNESOTA ADMINISTRATIVE RULES CHAPTER 7041.
- FUELING OF VEHICLES AND EQUIPMENT WILL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. SPILL KITS SHALL BE READILY AVAILABLE AND DISPOSAL SHALL BE IN ACCORDANCE WITH STATE REGULATIONS. SPILLS WILL BE REPORTED IN ACCORDANCE WITH MINNESOTA STATUTE 115.061.
- WASHING OF VEHICLES AND EQUIPMENT WILL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. RUNOFF FROM THE WASHING AREA SHALL BE CONTAINED IN A SEDIMENT BASIN AND WASTE SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE REGULATIONS.
- CONCRETE AND WASHOUT WASTES (STUCCO, PAINT, RELEASE OILS, CURING COMPOUNDS, ETC.) SHALL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. SO THAT WASTES DON NOT CONTACT THE GROUND, LIQUID AND SOLID WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE REGULATIONS. A SIGN SHALL BE POSTED AT THE WASHOUT AREA FOR IDENTIFICATION AND INSTRUCTIONS.
- DEWATERING OR BASIN DRAINING ACTIVITIES OF TURBID OR SEDIMENT LADEN WATER WILL BE DISCHARGED TO TEMPORARY SEDIMENT BASINS WHENEVER POSSIBLE. IN THE EVENT THAT IT IS NOT POSSIBLE TO DISCHARGE THE SEDIMENT LADEN WATER TO A TEMPORARY SEDIMENT BASIN THE WATER MUST BE TREATED SO THAT IT DOES NOT ADVERSELY AFFECT RECEIVING WATERS OR DOWNSTREAM LANDOWNERS.
- THE CONTRACTOR WILL NEED TO PROVIDE A LICENSED EROSION CONTROL SUPERVISOR WHO CAN INSPECT THE SITE FOR NPDES PERMIT COMPLIANCE. MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES (BMPs) WILL BE REQUIRED AS SET FORTH IN THE PREVIOUSLY NAMED SECTIONS.
  - THE EROSION CONTROL SUPERVISOR WILL NEED TO CONDUCT ROUTINE INDECTIONS OF THE ENTIRE CONSTRUCTION SITE AS REQUIRED BY THE NPDES PERMIT
  - DATE AND TIME OF INSPECTION
  - NAME OF PERSONS CONDUCTING INSPECTIONS
  - CORRECTIVE ACTIONS TAKEN
  - DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS
  - DOCUMENTS AND CHANGES MADE TO THE SWPPP
  - MAINTANENCE ACTIVITIES
- MAINTENANCE WILL BE PERFORMED WITHIN A PERIOD PER PERMIT REQUIREMENTS.
  - SILT FENCE REPAIRS SHOULD BE MADE WHEN IT BECOMES NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT OF THE FENCE
  - INLET PROTECTION DEVICES SHOULD BE REPAIRED WHEN THEY BECOME NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT AND/OR DEPTH OF THE DEVICE
  - TEMPORARY SEDIMENT BASIN MUST HAVE THE SEDIMENT REMOVED ONCE THE SEDIMENT HAS REACHED 1/2 THE STORAGE VOLUME
  - TRACKED SEDIMENT MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OF OFF SITE TRACKING ONTO PAVED SURFACES
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL BMPs UNTIL WORK HAS BEEN COMPLETED, SITE HAS GONE UNDER FINAL STABILIZATION, AND THE NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE MPCA IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT
- BURNING OF TREES, BRUSH, OR OTHER VEGETATED MATERIAL IS NOT ALLOWED WITHIN THE PROJECT BOUNDARIES.
- THE CONTRACTOR MAY SKIP TEMPORARY OR RAPID STABILIZATION METHODS IF THEY CHOOSE TO STABILIZE AN AREA WITH PERMANENT STABILIZATION WITHIN THE APPROPRIATE TIME FRAMES OUTLINED IN THE PERMIT FOR THE DIFFERENT ACTIVITIES.
- IF TEMPORARY OR PERMANENT COVER WILL NOT BE ESTABLISHED BY NOVEMBER 15, PROVIDE ADEQUATE MEASURES TO CONTROL SPRING EROSION AND SEDIMENTATION.
- ALL SEDIMENT DEPOSITED INTO A WATER OF THE STATE MUST BE REMOVED IMMEDIATELY OR AS REQUIRED BY THE NPDES PERMIT.
- OUTLETS INTO SURFACE WATERS SHALL BE STABILIZED WITH ENERGY DISSIPATION WITHIN 24 HOURS. ALL RIP RAP SHALL BE INSTALLED WITH A FILTER MATERIAL OR SOIL SEPARATION AND COMPLY WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- A 50 FOOT NATURAL BUFFER SHALL BE PRESERVED ADJACENT TO SURFACE WATERS. IF WORK ENCROACHES THE SURFACE WATER AS A COMPONENT OF THE WORK, REDUNDANT SEDIMENT CONTROLS SHALL BE INSTALLED.
- ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITY IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE TO BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA. ONLY LOW IMPACT EQUIPMENT SHALL BE ALLOWED IN THE INFILTRATION AREAS WHICH SHALL BE STAKED AND MARKED OFF.



Client:  
**SYNDICATED PROPERTIES, LLC**  
 DAKOTA ACRES  
 ELKO, MN

Project Title:  
**2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT**  
 ELKO, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.  
  
 Thomas J. Herkenhoff, P.E.  
 Date: 06.21.18 Reg. No.: 25520

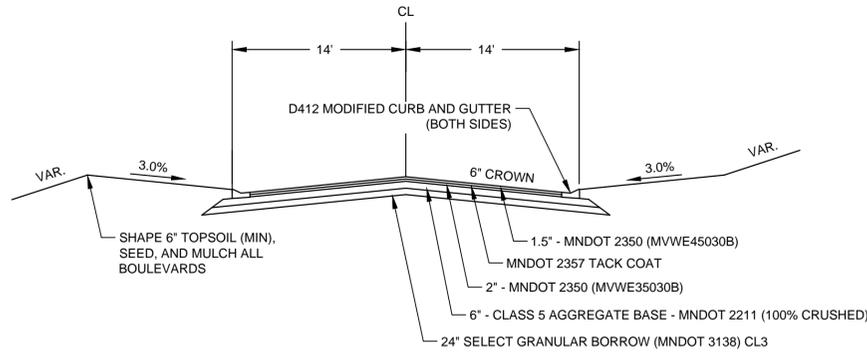
Rev.	Date	Description

Project #: 12186003  
 Drawn By: KBK  
 Checked By: TJH  
 Issue Date: 06.21.18

Sheet Title:  
**SWPPP**

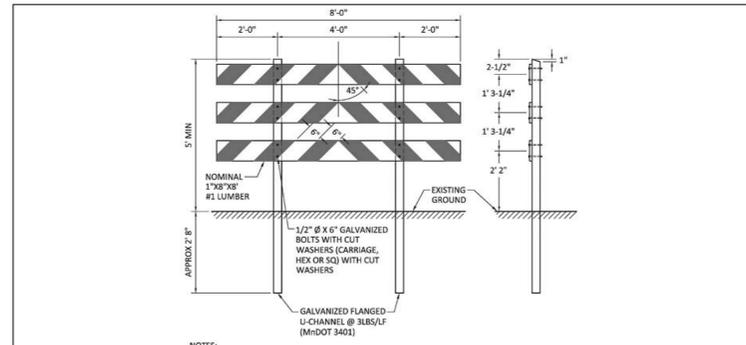
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PRELIMINARY NOT FOR CONSTRUCTION



**ROADWAY  
TYPICAL SECTION**

1  
C5.0  
NOT TO SCALE



- NOTES:
1. THE BARRICADE BOARD FACE SURFACE SHALL BE FULLY REFLECTORIZED IN ALTERNATE SILVER-WHITE AND RED STRIPPING, USING A REFLECTIVE SHEETING CONFORMING TO THE REQUIREMENTS OF SPEC. 3352.2A(2), STANDARD NO. 2.
  2. PRIOR TO INSTALLING THE REFLECTIVE SHEETING, THE BARRICADE BOARDS SHALL BE GIVEN A COMPLETE COATING OF WHITE WOOD PRIMER PAINT FOLLOWED BY A SECOND COAT OF WHITE EXTERIOR PAINT APPLIED ONLY TO THE SURFACE NOT COVERED WITH REFLECTIVE SHEETING.
  3. THE BARRICADE BOARDS SHALL BE COMPLETELY PAINTED AND REFLECTORIZED SHEETING APPLIED BEFORE BEING INSTALLED ON THE POSTS.
  4. THE PLACEMENT OF THE BARRICADES SHALL BE 10' FROM THE END OF THE BITUMINOUS ROAD WITH THE BARRICADES CENTERED ON THE LANES FACING THE FLOW OF TRAFFIC.

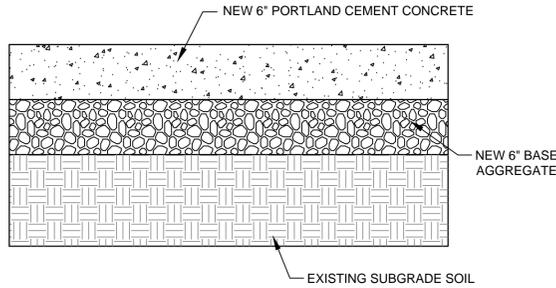
**TYPICAL BARRICADE**

STANDARD DETAIL  
NO. 7013ENM  
DATE 02/2017

**BARRICADE DETAIL**

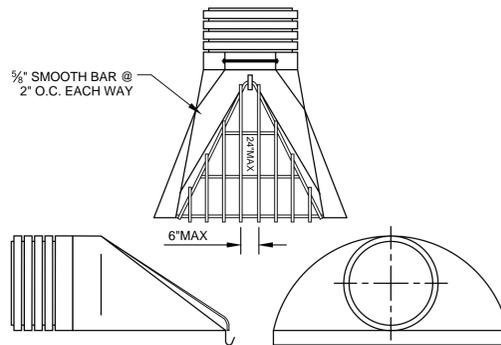
MAY USE SMALLER CITY APPROVED OPTION:  
TWO 18" SQUARE DIAMOND REFLECTIVE SIGNS  
ON GALVANIZED U-CHANNEL POSTS

4  
C5.0  
NOT TO SCALE



**CONCRETE  
CONSTRUCTION DETAIL**

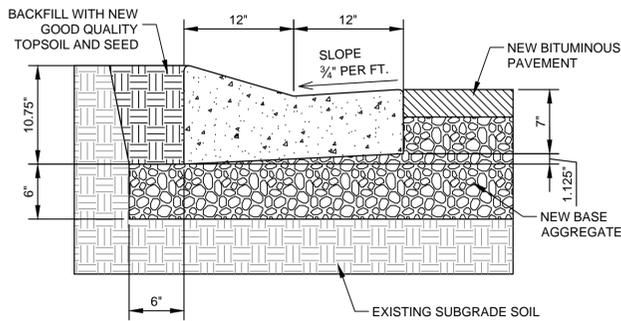
2  
C5.0  
NOT TO SCALE



PROVIDE 3 CLIPS TO FASTEN TRASH GUARD TO F.E.S.  
HOT DIP GALVANIZE AFTER FABRICATION.

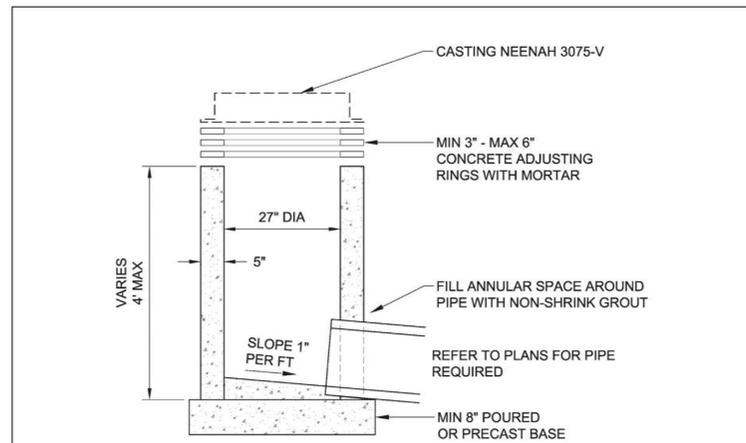
**FLARED END  
SECTION DETAIL**

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C5.0  
NOT TO SCALE



**D412 MODIFIED CURB  
& GUTTER DETAIL**

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C5.0  
NOT TO SCALE

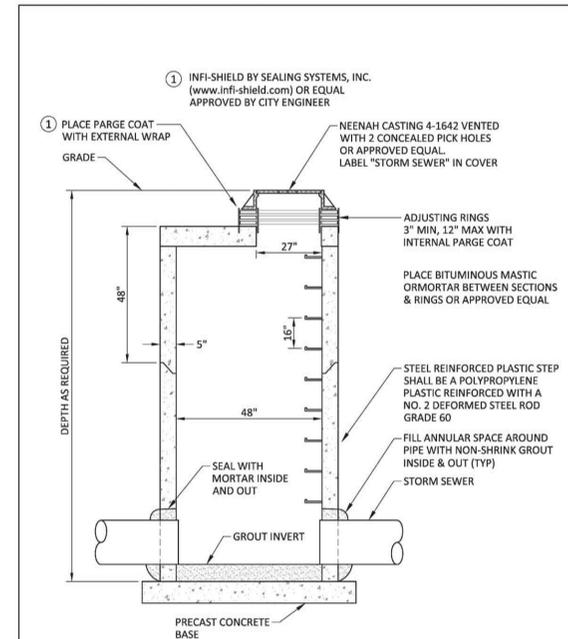


**CATCH BASIN**

STANDARD DETAIL  
NO. 4005ENM  
DATE 02/2017

**CATCH BASIN DETAIL**

6  
C5.0  
NOT TO SCALE

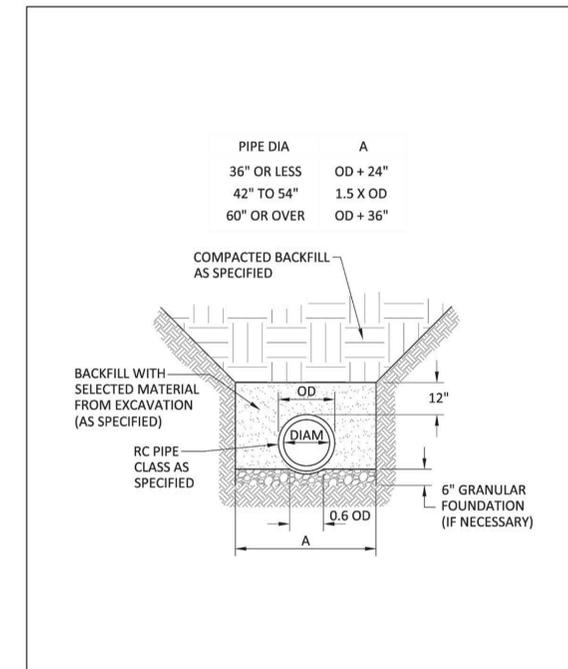


**STORM SEWER STRUCTURE**

STANDARD DETAIL  
NO. 4006ENM  
DATE 02/2017

**STORM SEWER  
STRUCTURE DETAIL**

7  
C5.0  
NOT TO SCALE



**RC PIPE TRENCH**

STANDARD DETAIL  
NO. 4002ENM  
DATE 02/2017

**RC PIPE TRENCH DETAIL**

8  
C5.0  
NOT TO SCALE

Client: **SYNDICATED PROPERTIES, LLC**  
Project Title: **2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT**

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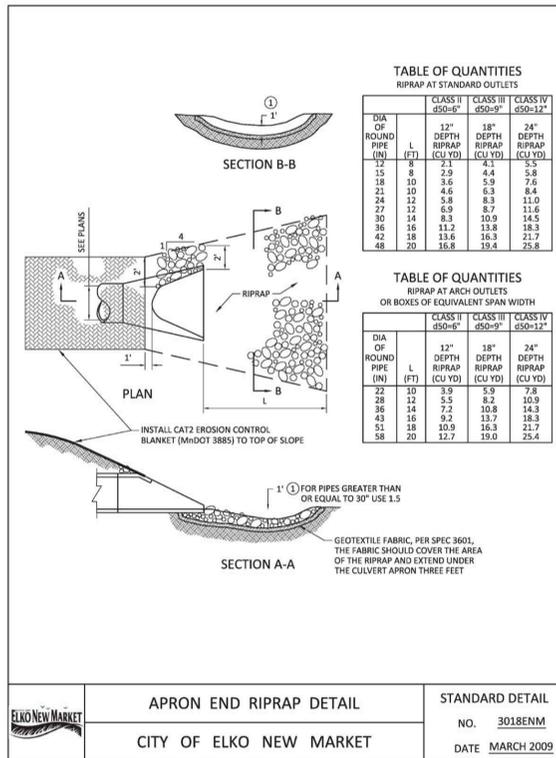
**2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT**  
ELKO, MN

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Date: 06.21.18 Reg. No.: 25520

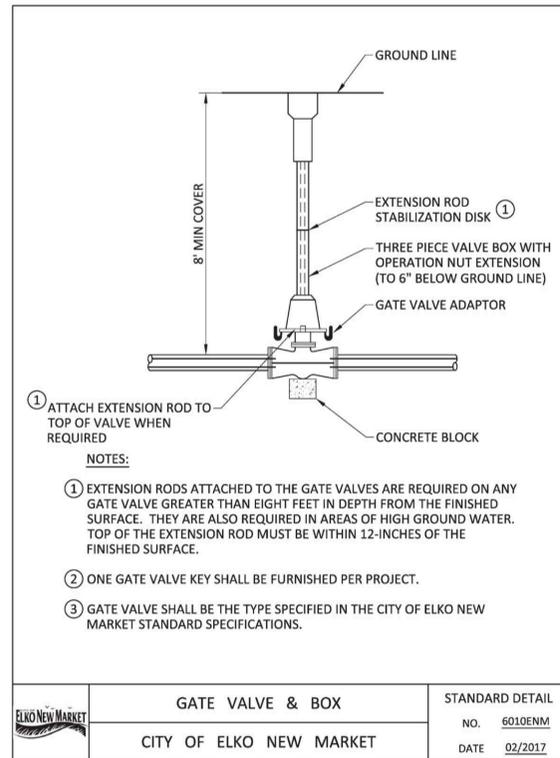
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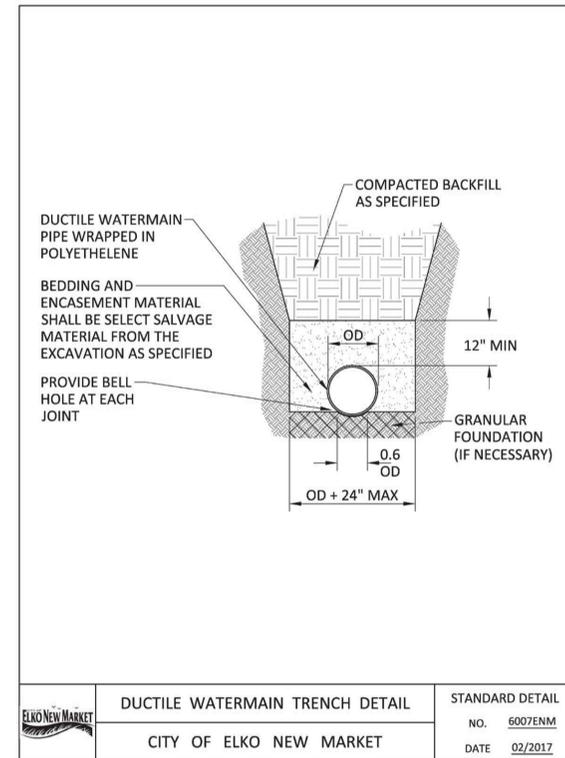
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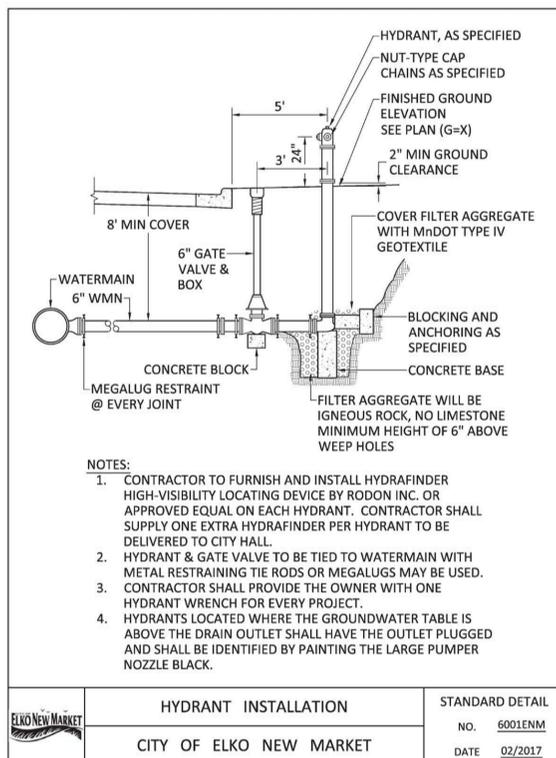
1 C5.1 RIPRAP DETAIL  
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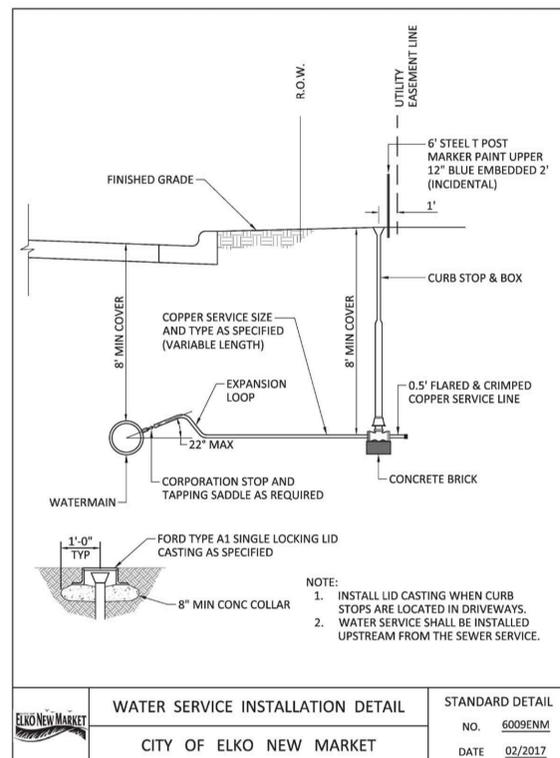
3 C5.1 GATE VALVE & BOX DETAIL  
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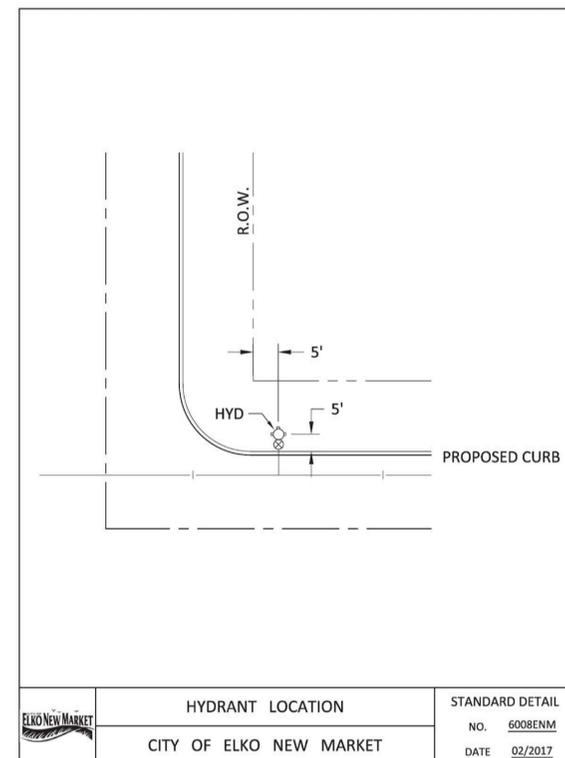
5 C5.1 DUCTILE WATERMAIN TRENCH DETAIL  
NOT TO SCALE



2 C5.1 HYDRANT DETAIL  
NOT TO SCALE



4 C5.1 WATER SERVICE INSTALLATION DETAIL  
NOT TO SCALE



6 C5.1 HYDRANT LOCATION DETAIL  
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ELKO, MN

**2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT**  
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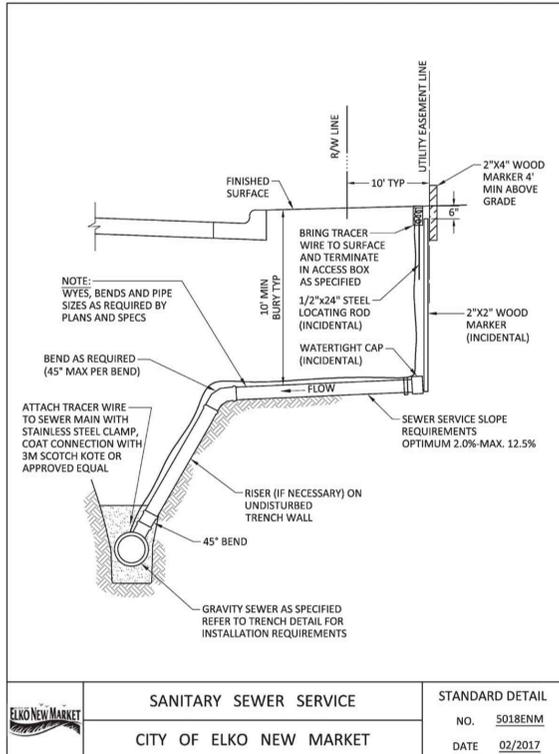
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**DETAILS**

**C5.1**

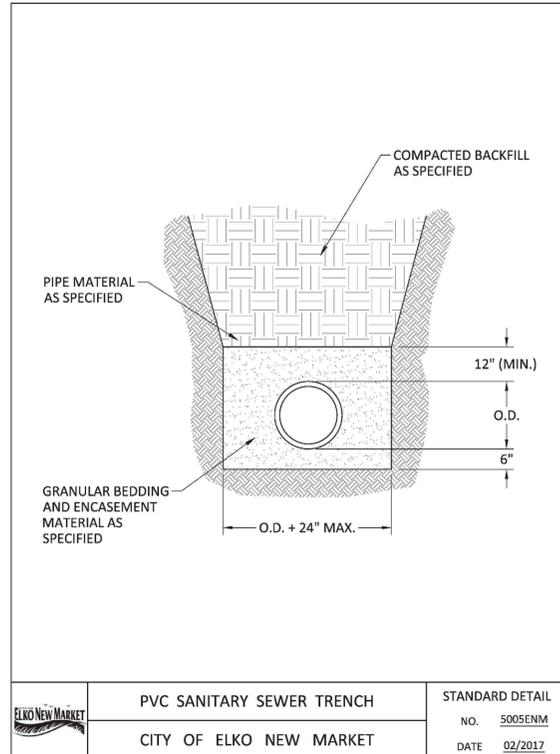


ELKO NEW MARKET	SANITARY SEWER SERVICE	STANDARD DETAIL
	CITY OF ELKO NEW MARKET	NO. 5018ENM DATE 02/2017

**SANITARY SEWER SERVICE DETAIL**

1  
C5.2

NOT TO SCALE

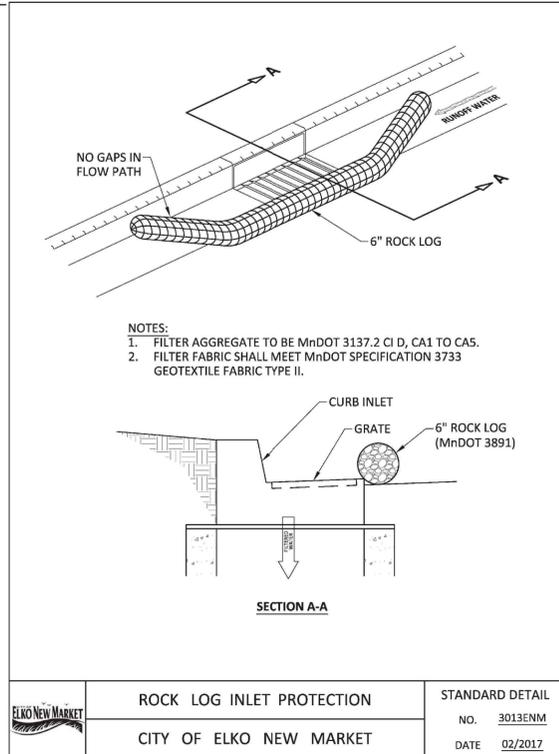


ELKO NEW MARKET	PVC SANITARY SEWER TRENCH	STANDARD DETAIL
	CITY OF ELKO NEW MARKET	NO. 5005ENM DATE 02/2017

**PVC SANITARY SEWER TRENCH DETAIL**

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C5.2

NOT TO SCALE

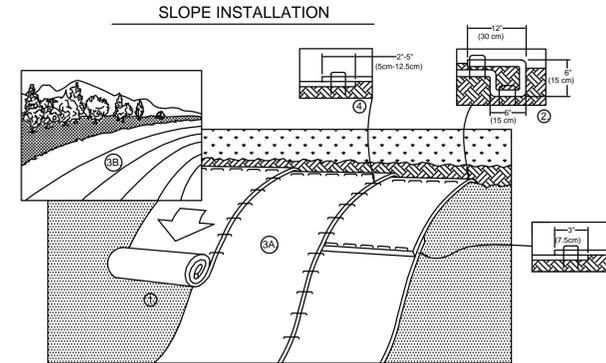


ELKO NEW MARKET	ROCK LOG INLET PROTECTION	STANDARD DETAIL
	CITY OF ELKO NEW MARKET	NO. 3013ENM DATE 02/2017

**INLET PROTECTION DETAIL**

5  
C5.2

NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
- ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
- CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.

**NORTH AMERICAN GREEN**  
EROSION CONTROL Products  
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EVANSVILLE, IN 47725  
800-772-2040  
www.nagreen.com

Category 4 Erosion Control Blanket:  
North American Green S150 erosion control blanket or approved equal.

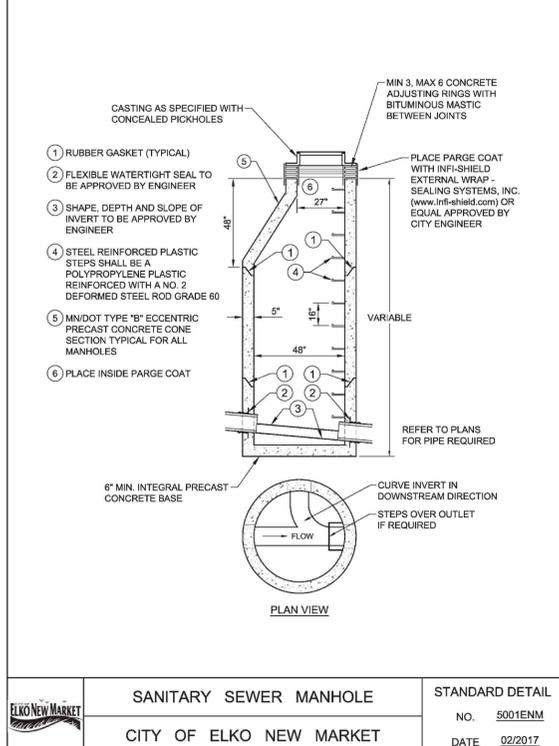
<b>Top Net</b> Polypropylene 1.5 lbs/1,000 ft <sup>2</sup> (0.73 kg/100 m <sup>2</sup> ) approx. wt.	<b>Bottom Net</b> Polypropylene 1.5 lbs/1,000 ft <sup>2</sup> (0.73 kg/100 m <sup>2</sup> ) approx. wt.
<b>Straw Fiber</b> 0.50 LBS/YD <sup>2</sup> (0.27 KG/M <sup>2</sup> )	<b>Thread</b> Photodegradable

Staples/Anchors:  
The type of anchors used to secure the blanket to the ground shall be Steel wire 11 Gauge 1" wide x 8" long.

**EROSION CONTROL BLANKET**

7  
C5.2

NOT TO SCALE

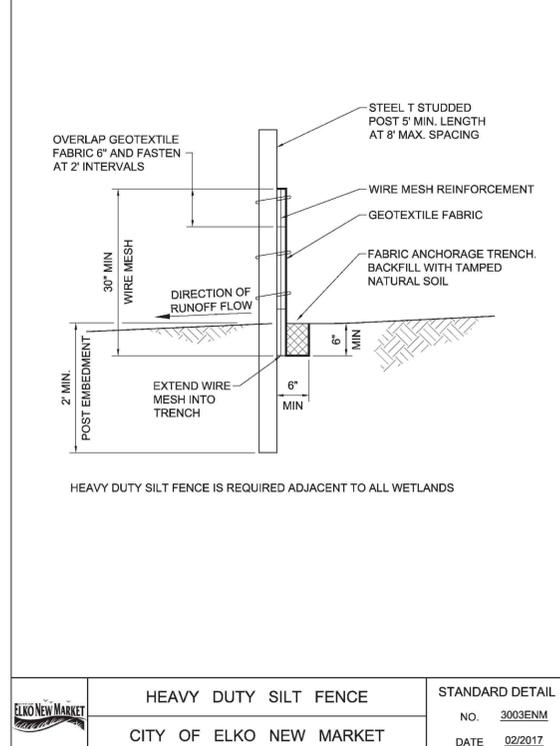


ELKO NEW MARKET	SANITARY SEWER MANHOLE	STANDARD DETAIL
	CITY OF ELKO NEW MARKET	NO. 5001ENM DATE 02/2017

**SANITARY SEWER MANHOLE DETAIL**

2  
C5.2

NOT TO SCALE

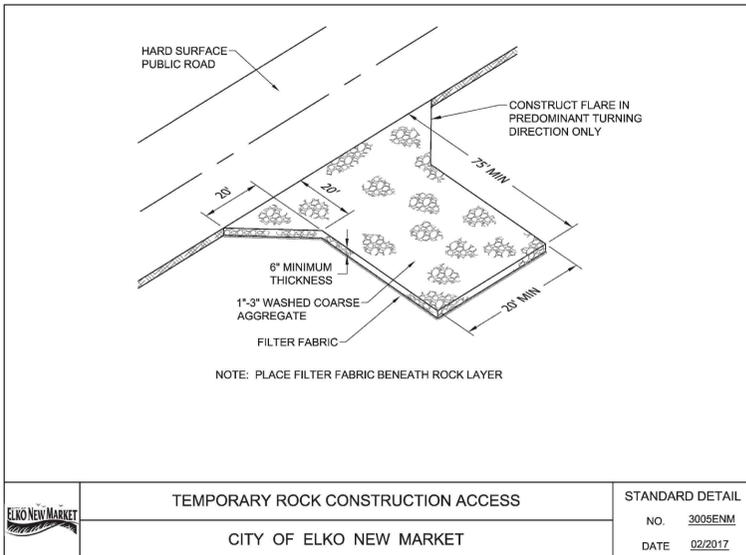


ELKO NEW MARKET	HEAVY DUTY SILT FENCE	STANDARD DETAIL
	CITY OF ELKO NEW MARKET	NO. 3003ENM DATE 02/2017

**SILT FENCE DETAIL**

4  
C5.2

NOT TO SCALE



ELKO NEW MARKET	TEMPORARY ROCK CONSTRUCTION ACCESS	STANDARD DETAIL
	CITY OF ELKO NEW MARKET	NO. 3005ENM DATE 02/2017

**ROCK CONSTRUCTION ENTRANCE**

6  
C5.2

NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

Client: Client: Project Title:

2018 CONSTRUCTION PLANS FOR CONDO DEVELOPMENT ELKO, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

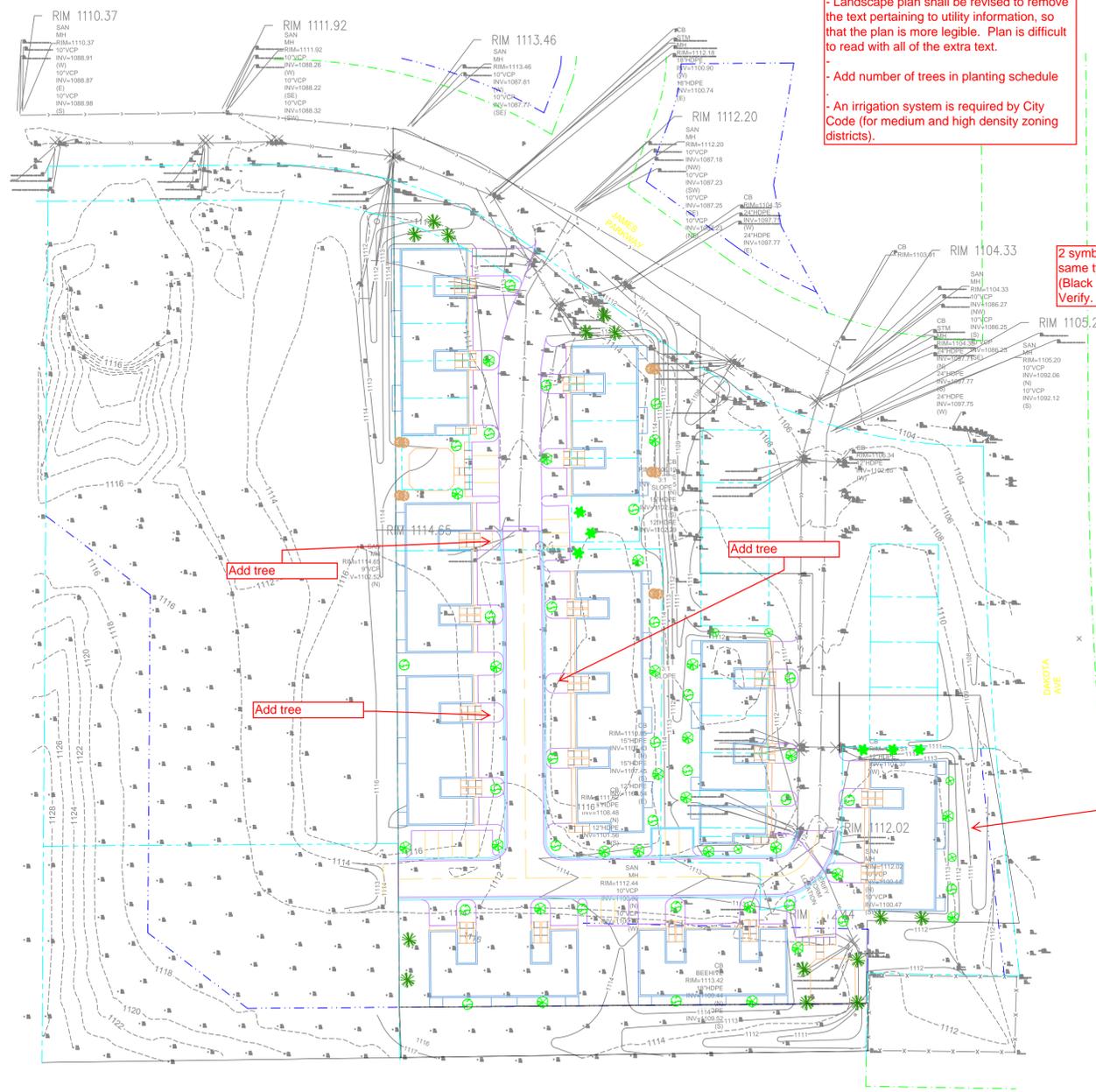
*Thomas J. Herkenhoff*  
Thomas J. Herkenhoff, P.E.  
Date: 06.21.18 Reg. No.: 25520

Rev.	Date	Description

Project #: 12186003  
Drawn By: KBK  
Checked By: TJH  
Issue Date: 06.21.18  
Sheet Title:

DETAILS

**C5.2**



- Landscape plan shall be revised to remove the text pertaining to utility information, so that the plan is more legible. Plan is difficult to read with all of the extra text.

- Add number of trees in planting schedule

- An irrigation system is required by City Code (for medium and high density zoning districts).

2 symbols show same type of tree (Black Hills Spruce). Verify.

Add planting schedule showing number of each type of tree

Add tree

Add tree

Add tree

Add tree

Area along Dakota Avenue must have double staggered row of trees which provide screening

**SITE DATA**

SITE AREA = 159165.74 SF OR 3.65 ACRES  
 BUILDING COVERAGE AREA = 40,570.53 SF  
 DRIVES&WALKS COVERAGE AREA = 52,767.75 SF OR 33.1%  
 GREEN AREA = 55,643.46 SF OR 34.9%

# LANDSCAPE PLAN

1" = 50'-0"

COMM NO \_\_\_\_\_  
DATE \_\_\_\_\_

REVISION

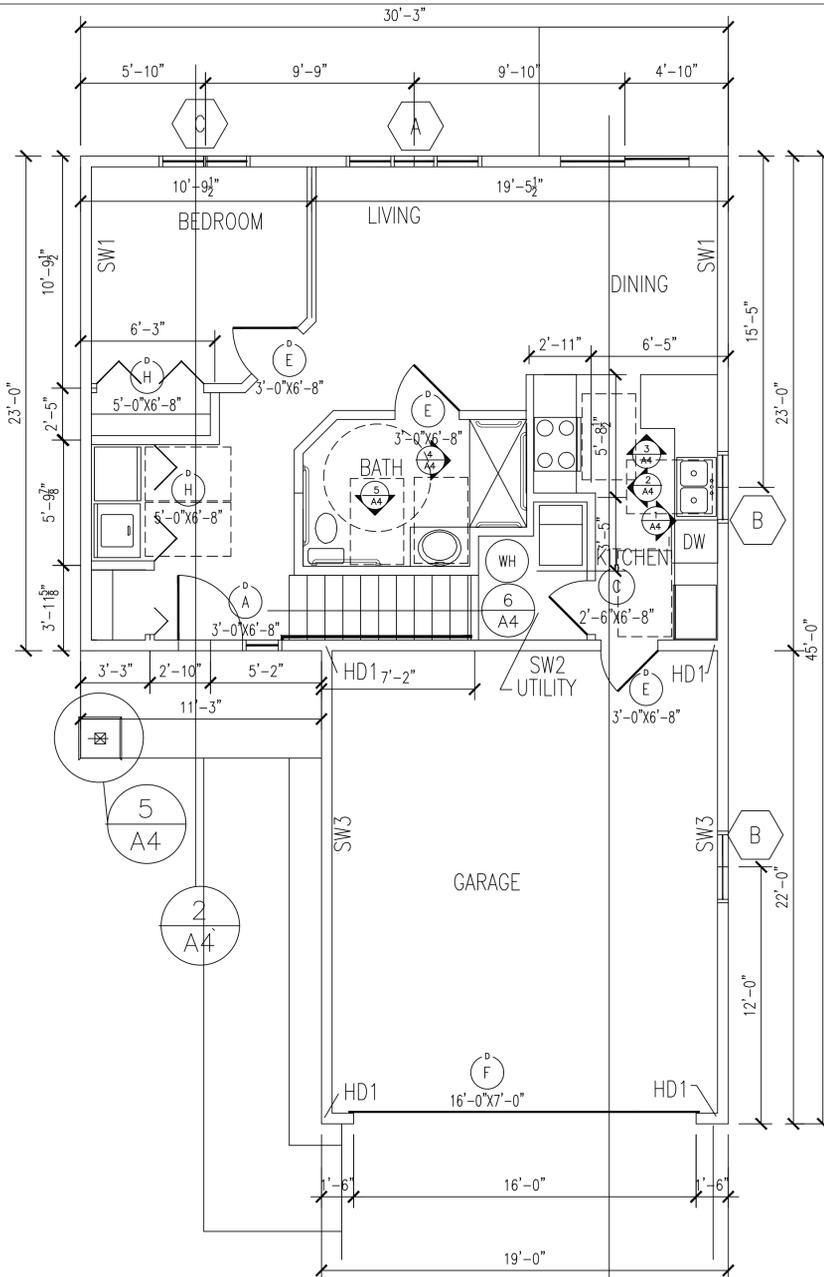
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, SURVEY, AND REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PROJECT NAME: Dakota Acres  
 ARCHITECT: Renee Christianson  
 DATE: 6/20/18

PROJECT NAME  
**DAKOTA ACRES TOWNHOMES**  
 NEW MARKET, MINNESOTA

RHA ARCHITECT'S INC.  
 ARCHITECTS, PLANNERS, DESIGNERS  
 P.O. BOX 383  
 ST. CLOUD, MINNESOTA  
 PHONE 320-267-7115  
 EMAIL RHA@RHAHQD.COM

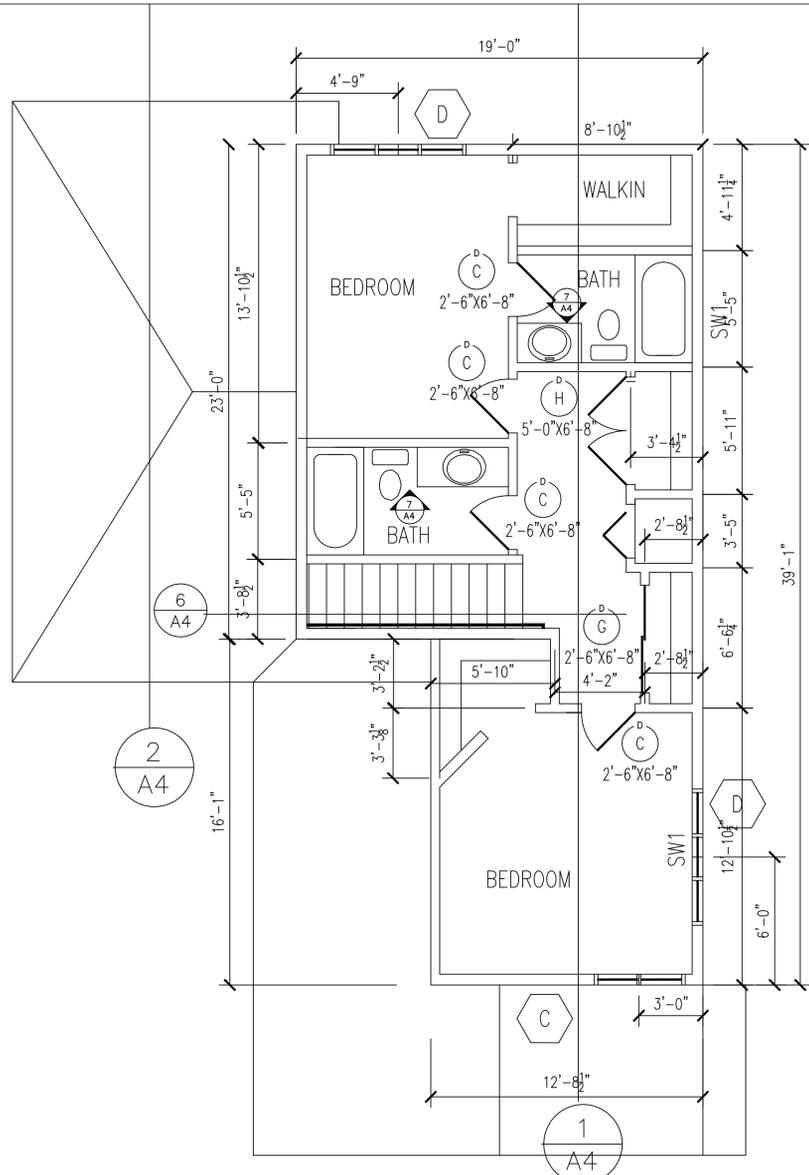
SHEET NO  
**AI**





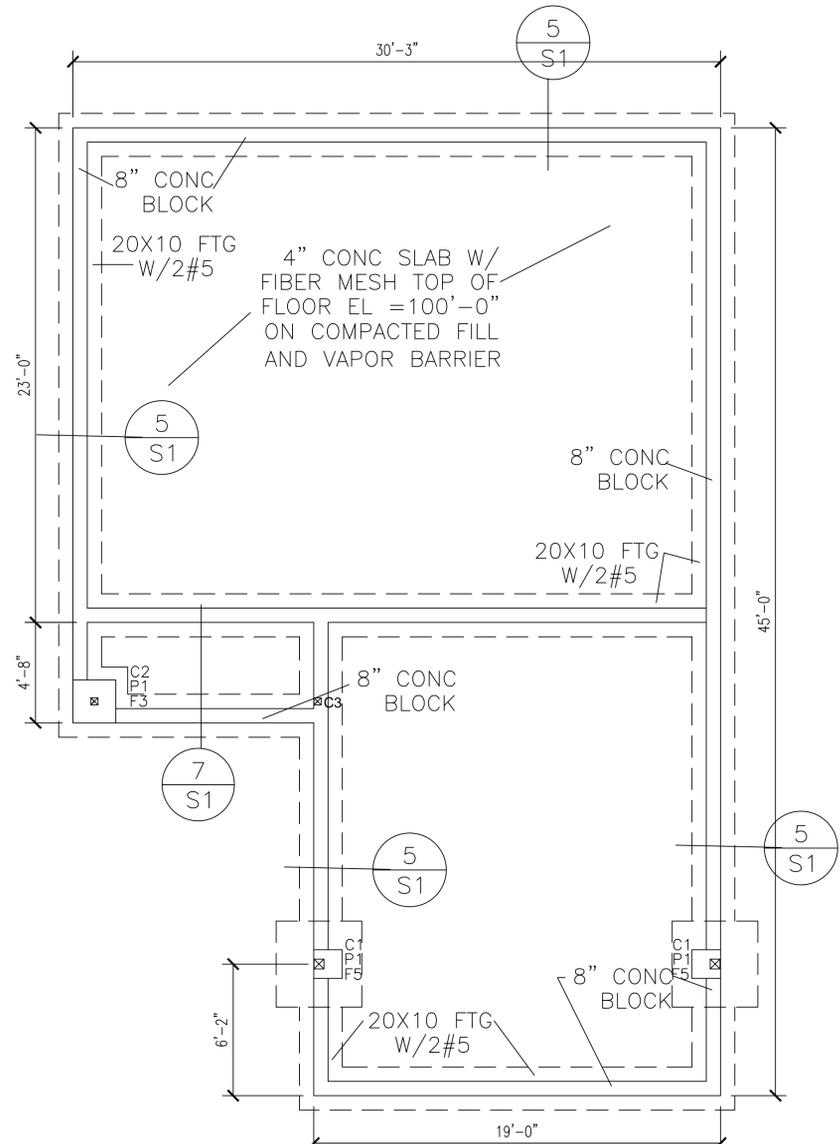
FIRST FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"



WINDOW SCHEDULE

TYPE	SIZE	DESCRIPTION	REMARKS
A	6'-0X5'-0	SLIDING VINYL	-
B	3'-0X2'-8	SLIDING VINYL	-
C	6'-0X4'-0	SLIDING VINYL	-
D	5'-0X1'-6	VINYL AWNING	HOL MET FRAME

ROOM FINISH SCHEDULE

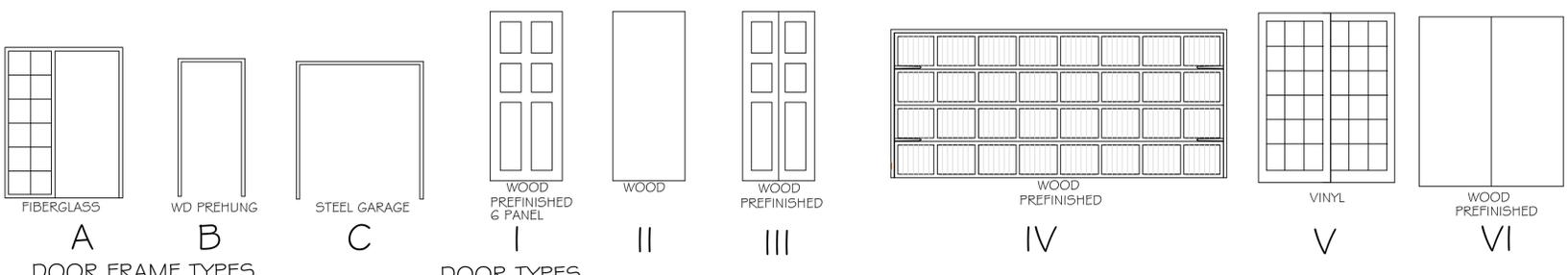
ROOM NO	ROOM NAME	FLOORS	BASE	WALLS	CEILING	REMARKS
	TYPICAL UNIT					
	KITCHEN	SV	WD	GBTP	GBTP	-
	DINING ROOM	SV	WD	GBTP	GBTP	-
	BATH	SV	WD	GBTP	GBTP	-
	BEDROOMS	CPT	WD	GBTP	GBTP	-
	CLOSETS	CPT	WD	GBTP	GBTP	SHELF AND ROD

PUBLIC DOOR SCHEDULE

NUMBER	SIZE	MATL	TYPE	FRAME MATL	FRAME TYPE	RATING	FINISH	REMARKS
A	3'-0X6'-8	WD	I	FG	A		PREFIN	
B	2'-8X6'-8	WD	I	WD	B	20 MIN	PREFIN	PREHUNG
C	2'-6X6'-8	WD	I	WD	B		PREFIN	PREHUNG
D	6'-0X6'-8	VINYL	V	VINYL	B		PREFIN	SLIDER
E	3'-0X6'-8	WD	III	WD	B		PREFIN	BIFOLD
F	1'-6'-0X7'-0	WD	IV	WD	C		PREFIN	BIFOLD
G	5'-0X6'-8	WD	VI	-	B		PREFIN	SLIDER
H	5'-0X6'-8	WD	V	WD	B		PREFIN	BIFOLD

SHEAR WALL SCHEDULE			
MK	WALL SHEATHING	FASTENER SPACING SILL PLATE ANCHORS	
SW1	5/8" GYPSUM WALLBOARD SHEATHING ONE SIDE	4" OC (EDGES) 12" OC (FIELD)	TZ (3 1/4" EMBEDMENT) AT 4-0" OC 0" OC 10d NAILS (1) 1/2" DIA HILTI KWIK BOLT
SW2	15/32" APA RATED SHEATHING ONE SIDE	4" OC (EDGES) 12" OC (FIELD)	TZ (3 1/4" EMBEDMENT) AT 2-12" OC 0" OC 6d COOLER NAILS (1) 1/2" DIA HILTI KWIK BOLT
SW3	5/8" GYPSUM WALLBOARD SHEATHING BOTH SIDES	4" OC (EDGES) 12" OC (FIELD)	TZ (3 1/4" EMBEDMENT) AT 3-12" OC 0" OC 6d COOLER NAILS (1) 1/2" DIA HILTI KWIK BOLT

HOLDDOWN SCHEDULE			
MK	HOLDDOWN	WALL CONSTRUCTION	ANCHOR BOLT
HD1	DTT2Z	(1) 2X6 STUDS AT EA. HD MIN.	1/2" DIA. AB (16" EMBEDMENT)
HD2	HDU2-SDS2.5	(2) 2X6 STUDS AT EA. HD MIN.	5/8" DIA. AB (16" EMBEDMENT)



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION AND CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: **ANDREW SAMULAR**  
 SIGNATURE: *Andrew Samular*  
 DATE: 11/19/17 REG. NO. 1823  
**Larson Engineering, Inc.**  
 11000 Lake Ave. N., Suite 55110  
 White Bear Lake, MN 55110  
 (P) 651.481.9120 (F) 651.481.9201  
 © 2005 by Larson Engineering of Minnesota

COMM NO 1716  
 DATE 11/19/17

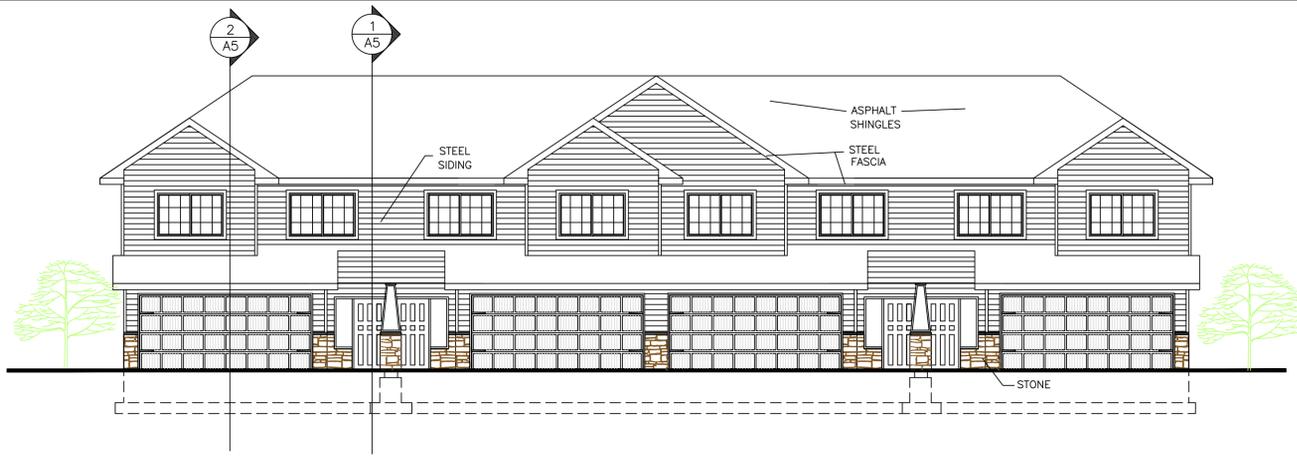
REVISION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION AND CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: **RHA ARCHITECT'S INC.**  
 SIGNATURE: *RHA Architect's Inc.*  
 DATE: 11/19/17 REG. NO. 1823

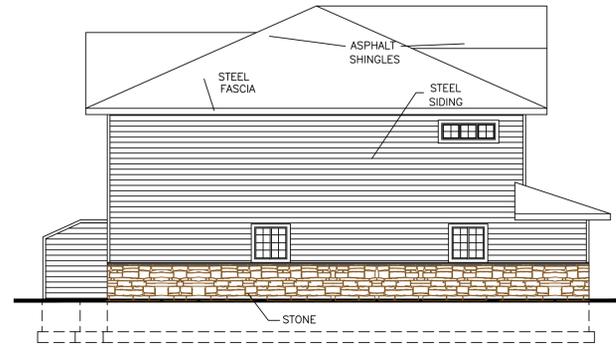
PROJECT NAME  
 SINGLE UNIT BUILDING  
 DAKOTA ACRES TOWNHOMES  
 NEW MARKET, MINNESOTA

RHA ARCHITECT'S INC.  
 ARCHITECTS, PLANNERS, DESIGNERS  
 P.O. BOX 383  
 ST. CLOUD, MINNESOTA  
 PHONE 320-267-7115  
 EMAIL RHA@RHAHQ.COM

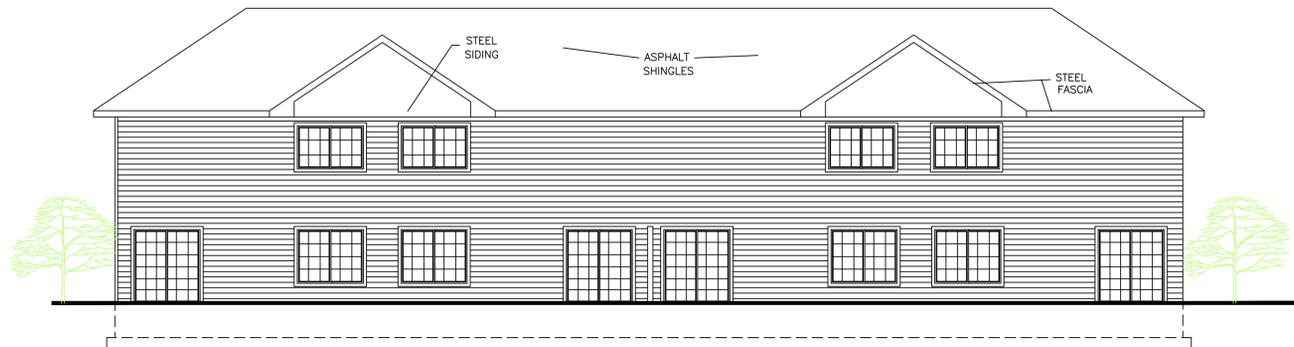
SHEET NO  
 A2



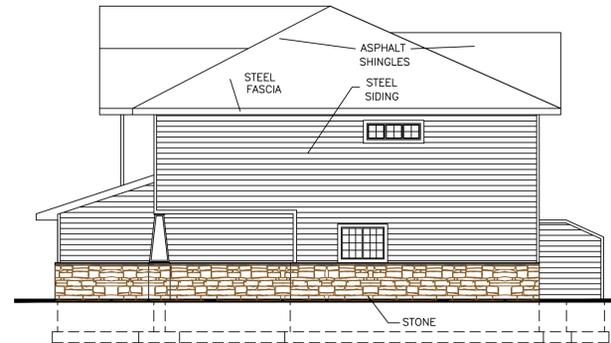
FRONT ELEVATION  
1/8"=1'-0"



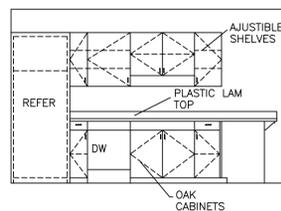
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1/8"=1'-0"



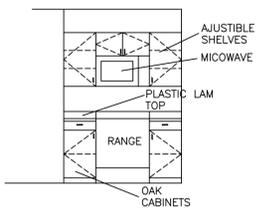
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1/8"=1'-0"



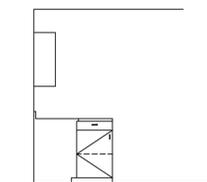
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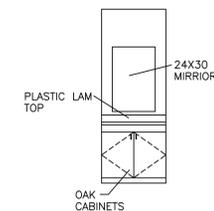
1 ELEVATION  
A4 1/4"=1'-0"



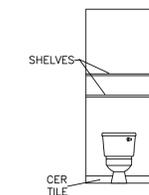
2 ELEVATION  
A4 1/4"=1'-0"



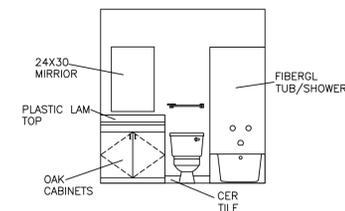
3 ELEVATION  
A4 1/4"=1'-0"



4 ELEVATION  
A4 1/4"=1'-0"



5 ELEVATION  
A4 1/4"=1'-0"



6 ELEVATION  
A4 1/4"=1'-0"

COMM NO 1716  
DATE 11/19/17

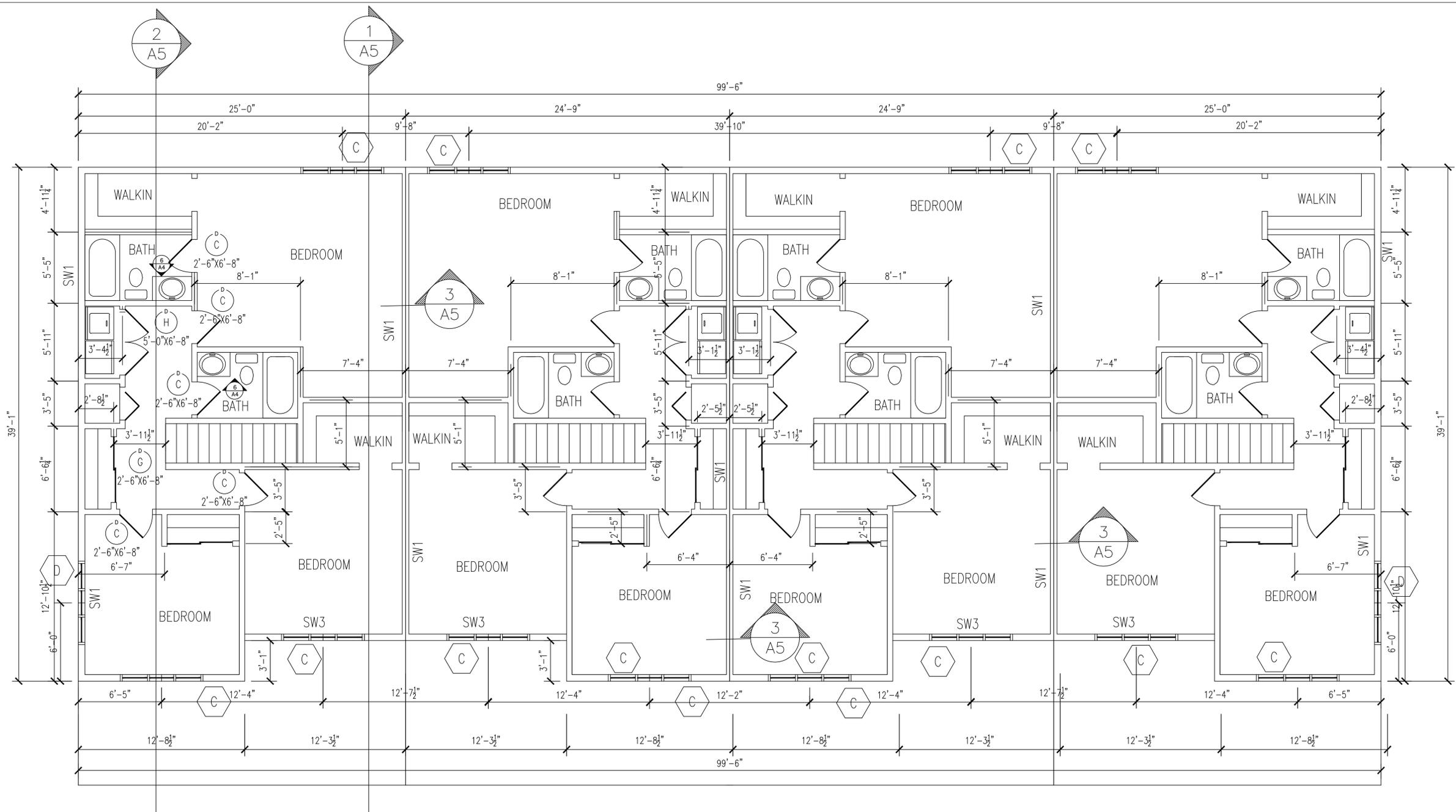
REVISION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
PRINT NAME: Ronald C. Rasmussen  
DATE: 11/19/17 REG. NO. 1111111111

PROJECT NAME  
4 PLEX BUILDING  
DAKOTA ACRES TOWNHOMES  
NEW MARKET, MINNESOTA

RHA ARCHITECT'S INC.  
ARCHITECTS, PLANNERS, DESIGNERS  
PHONE 320-267-7115  
P.O. BOX 383  
ST. CLOUD, MINNESOTA EMAIL RHA@RHAHQ.COM

SHEET NO  
A4



SECOND FLOOR PLAN

1/4"=1'-0"

WINDOW SCHEDULE

TYPE	SIZE	DESCRIPTION	REMARKS
A	6'-0X5'-0	SLIDING VINYL	-
B	3'-0X2'-8"	SLIDING VINYL	-
C	6'-0X4'-0	SLIDING VINYL	-
D	5'-0X1'-6"	VINYL AWNING	HOL MET FRAME

ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	FLOORS	BASE	WALLS	CEILING	REMARKS
	TYPICAL UNIT					
	KITCHEN	SV	WD	GBTP	GBTP	-
	DINING ROOM	SV	WD	GBTP	GBTP	-
	BATH	SV	WD	GBTP	GBTP	-
	BEDROOMS	CPT	WD	GBTP	GBTP	-
	CLOSETS	CPT	WD	GBTP	GBTP	SHELF AND ROD

SHEAR WALL SCHEDULE

MK	WALL SHEATHING	FASTENER SPACING SILL PLATE ANCHORS
SW1	5/8" GYPSUM WALLBOARD SHEATHING ONE SIDE	6d COOLER NAILS (1) 1/2" DIA HILTI KWIK BOLT 4" OC (EDGES) TZ (3 1/4" EMBEDMENT) AT 4'-12" OC (FIELD) 0" OC 10d NAILS (1) 1/2" DIA HILTI KWIK BOLT
SW2	15/32" APA RATED SHEATHING ONE SIDE	4" OC (EDGES) TZ (3 1/4" EMBEDMENT) AT 2'-12" OC (FIELD) 0" OC 6d COOLER NAILS (1) 1/2" DIA HILTI KWIK BOLT
SW3	5/8" GYPSUM WALLBOARD SHEATHING BOTH SIDES	4" OC (EDGES) TZ (3 1/4" EMBEDMENT) AT 3'-12" OC (FIELD)

HOLDDOWN SCHEDULE

MK	HOLDDOWN	WALL CONSTRUCTION	ANCHOR BOLT
HD1	DTT2Z	(1) 2X6 STUDS AT EA. HD MIN.	1/2" DIA. AB (16" EMBEDMENT)
HD2	HU2-SDS2.5	(2) 2X6 STUDS AT EA. HD MIN.	5/8" DIA. AB (16" EMBEDMENT)

COMM NO 1716  
DATE 11/19/17

REVISION

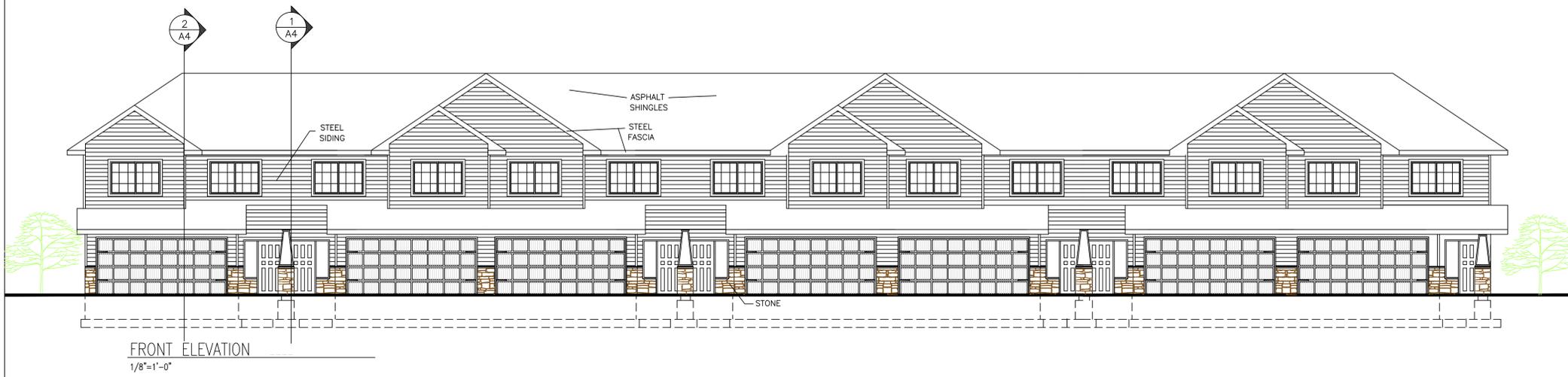
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, SUPERVISION, AND TIME I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
PRINT NAME: Ronald C. Henningson  
DATE: 11/19/17 REG. NO. 12021

PROJECT NAME  
4 PLEX BUILDING  
DAKOTA ACRES TOWNHOMES  
NEW MARKET, MINNESOTA

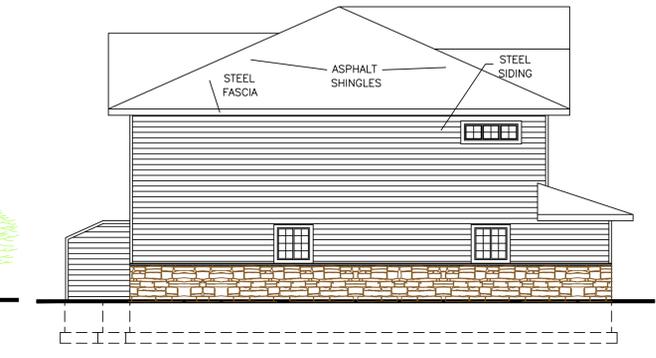
RHA ARCHITECT'S INC.  
ARCHITECTS, PLANNERS, DESIGNERS  
PHONE 320-267-7115  
P.O. BOX 383  
ST. CLOUD, MINNESOTA  
EMAIL RHA@RHAHQ.COM

SHEET NO  
A3

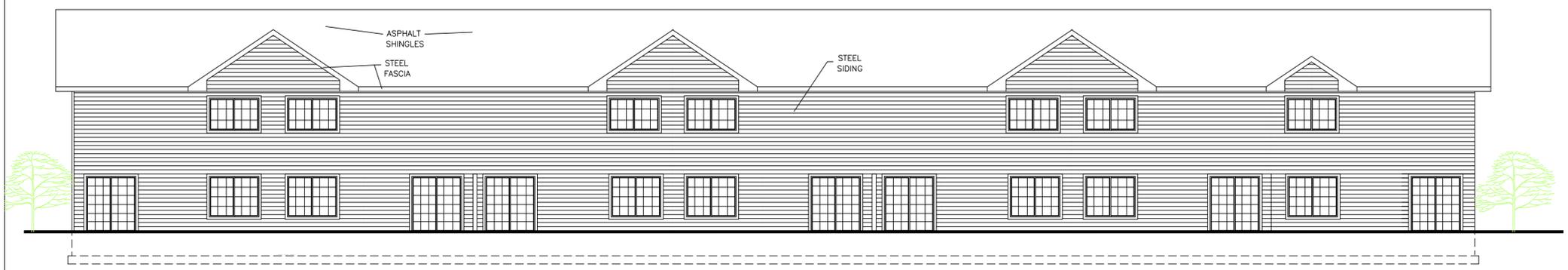




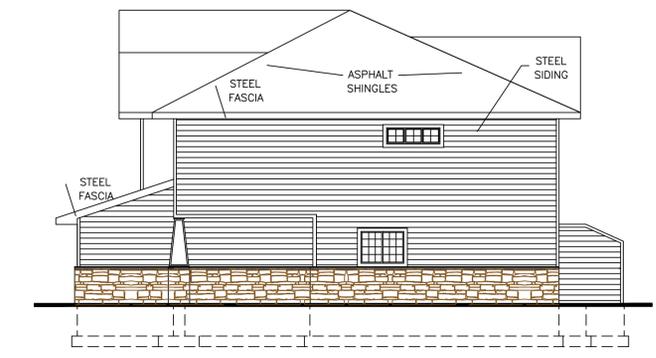
FRONT ELEVATION  
1/8"=1'-0"



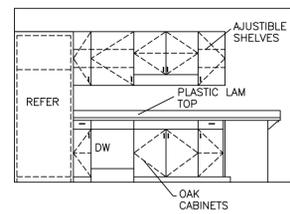
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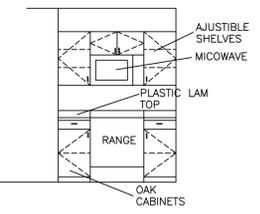
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1/8"=1'-0"



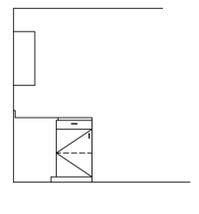
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1/8"=1'-0"



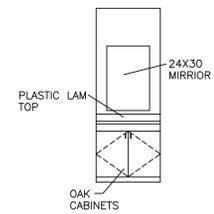
1 ELEVATION  
A3 1/4"=1'-0"



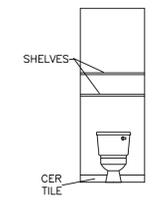
2 ELEVATION  
A3 1/4"=1'-0"



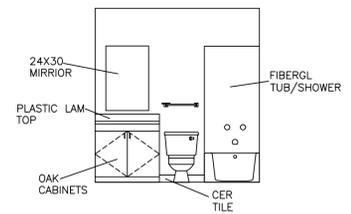
3 ELEVATION  
A3 1/4"=1'-0"



4 ELEVATION  
A3 1/4"=1'-0"



5 ELEVATION  
A3 1/4"=1'-0"



6 ELEVATION  
A3 1/4"=1'-0"

COMM NO 1716  
DATE 11/19/17

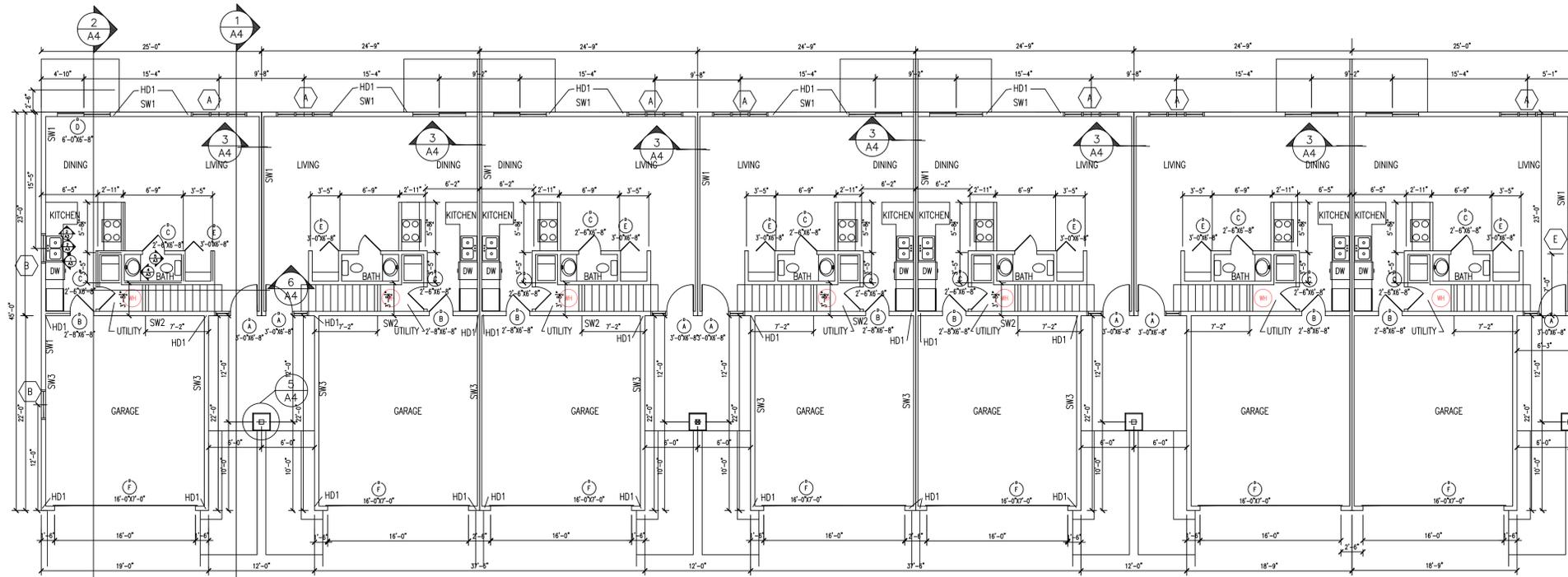
REVISION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, AND CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.  
PRINT NAME: Rhonda C. Rasmussen  
DATE: 11/19/17 REG. NO. 1111111111

PROJECT NAME  
7 PLEX BUILDING  
DAKOTA ACRES TOWNHOMES  
NEW MARKET, MINNESOTA

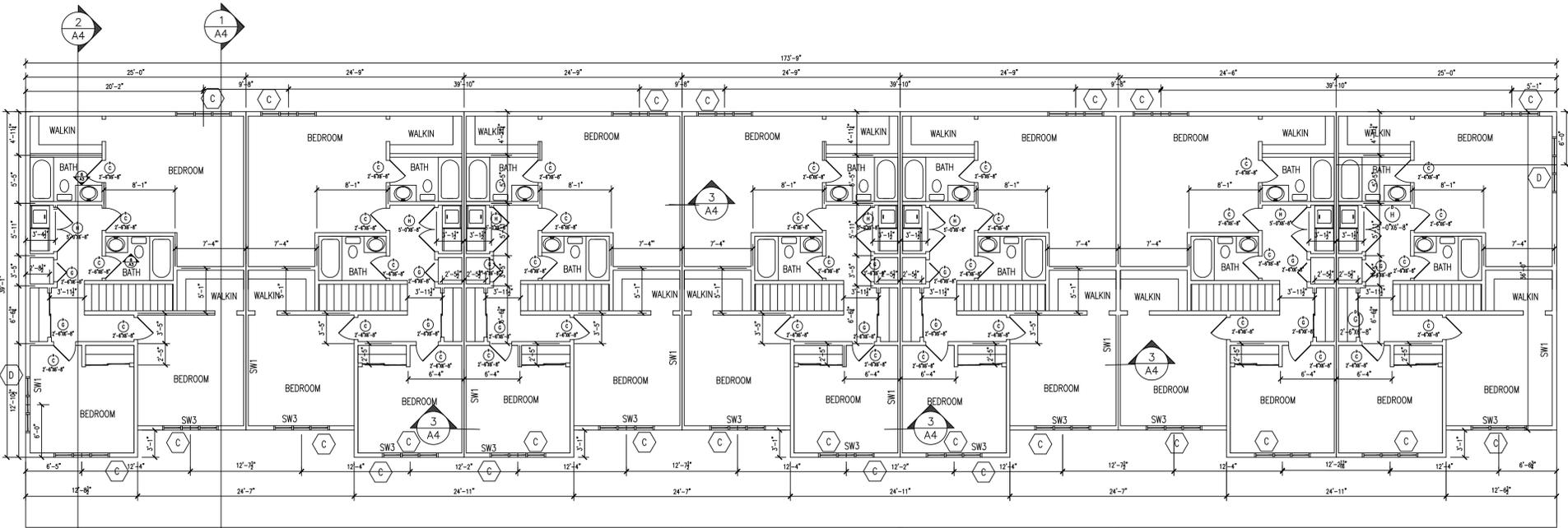
RHA ARCHITECT'S INC.  
ARCHITECTS, PLANNERS, DESIGNERS  
PHONE 320-267-7115  
P.O. BOX 383  
ST. CLOUD, MINNESOTA EMAIL RHA@RHAHQD.COM

SHEET NO  
A3



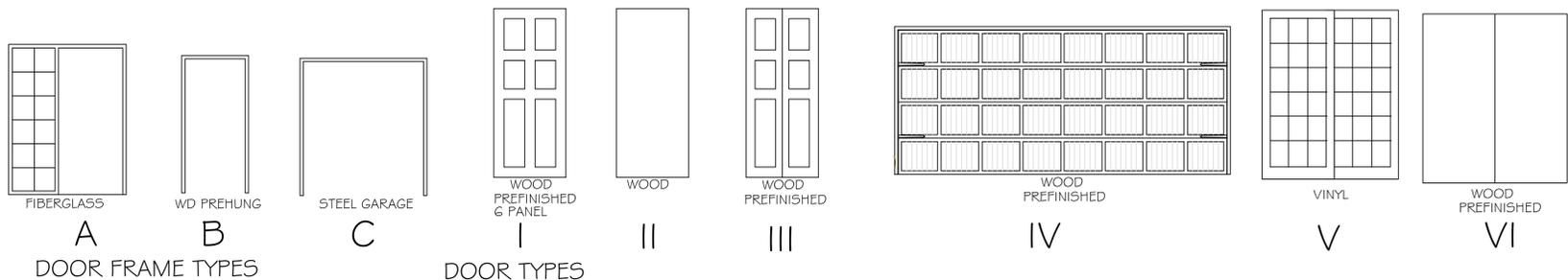
FIRST FLOOR PLAN

1/8" = 1'-0"



SECOND FLOOR PLAN

1/8" = 1'-0"



**SHEAR WALL SCHEDULE**

MK	WALL SHEATHING	FASTENER SPACING SILL PLATE ANCHORS
SW1	5/8" GYPSUM WALLBOARD SHEATHING ONE SIDE	6# COOLER NAILS (1) 1 1/2" DIA HELIX KWIK BOLT 4" OC (EDGES) 12" DIA EMBEDMENT AT 4- 12" OC (FIELD) 9" OC
SW2	1/2" APA RATED SHEATHING ONE SIDE	16# NAILS (1) 1 1/2" DIA HELIX KWIK BOLT 4" OC (EDGES) 12" DIA EMBEDMENT AT 4- 12" OC (FIELD) 9" OC
SW3	5/8" GYPSUM WALLBOARD SHEATHING BOTH SIDES	6# COOLER NAILS (1) 1 1/2" DIA HELIX KWIK BOLT 4" OC (EDGES) 12" DIA EMBEDMENT AT 4- 12" OC (FIELD)

**HOLLOW DOOR SCHEDULE**

MK	HOLLOW DOOR	WALL CONSTRUCTION	ANCHOR BOLT
HD1	3 1/2" HD	1 1/2" DIA STUDS AT EA. HD MIN. 1 1/2" DIA 96" (10' EMBEDMENT)	1 1/2" DIA 96" (10' EMBEDMENT)
HD2	HDG 200 S.S.	2" DIA STUDS AT EA. HD MIN. 1 1/2" DIA 96" (10' EMBEDMENT)	1 1/2" DIA 96" (10' EMBEDMENT)

**WINDOW SCHEDULE**

TYPE	SIZE	DESCRIPTION	REMARKS
A	6'-0X5'-0	SLIDING VINYL	-
B	3'-0X2'-8"	SLIDING VINYL	-
C	6'-0X4'-0	SLIDING VINYL	-
D	5'-0X1'-6"	VINYL AWNING	HOL MET FRAME
E	4'-0X3'-0	SLIDING VINYL	-

**ROOM FINISH SCHEDULE**

ROOM NO.	ROOM NAME	FLOORS	BASE	WALLS	CEILING	REMARKS
	TYPICAL UNIT					
	KITCHEN	SV	WD	GBTP	GBTP	-
	DINING ROOM	SV	WD	GBTP	GBTP	-
	BATH	SV	WD	GBTP	GBTP	-
	BEDROOMS	CPT	WD	GBTP	GBTP	-
	CLOSETS	CPT	WD	GBTP	GBTP	SHELF AND ROD

**PUBLIC DOOR SCHEDULE**

NUMBER	SIZE	MATL	TYPE	FRAME MATL	FRAME TYPE	RATING	FINISH	REMARKS
A	3'-0X6'-8	WD	I	FG	A		PREFIN	
B	2'-8X6'-8	WD	I	WD	B	20 MIN	PREFIN	PREHUNG
C	2'-6X6'-8	WD	I	WD	B		PREFIN	PREHUNG
D	6'-0X6'-8	VINYL	V	VINYL	B		PREFIN	SLIDER
E	3'-0X6'-8	WD	III	WD	B		PREFIN	BIFOLD
F	16'-0X7'-0	WD	IV	WD	C		PREFIN	BIFOLD
G	5'-0X6'-8	WD	VI	-	B		PREFIN	SLIDER
H	5'-0X6'-8	WD	V	WD	B		PREFIN	

COMM NO 1716  
DATE 11/19/17

REVISION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. RHA ARCHITECT'S INC. PROJECT NAME: 7 PLEX BUILDING, DAKOTA ACRES TOWNHOMES, NEW MARKET, MINNESOTA. DATE: 11/19/17. REG. NO. 1111111111

PROJECT NAME: 7 PLEX BUILDING, DAKOTA ACRES TOWNHOMES, NEW MARKET, MINNESOTA

RHA ARCHITECT'S INC. ARCHITECTS, PLANNERS, DESIGNERS. PHONE 320-267-7115. P.O. BOX 383, ST. CLOUD, MINNESOTA. EMAIL RHA@RHAARCHIT.COM

**RHA**

SHEET NO. A2



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Review of Concept Plans for Adelman Properties
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Renee Christianson, Community Development Specialist
<b>REQUESTED ACTION:</b>	Accept Concept Development Plan for Adelman Properties / West Interchange Area Design Services

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

## **BACKGROUND**

Appro Development and a representative from the Adelman family have presented a conceptual development plan and marketing materials for review and acceptance by the City Council. The development of an agreed upon concept plan is desired by the Adelmans so they can efficiently market their property.

The concept planning project and preparation of marketing materials was completed using a 2017 CDA grant that was awarded to the City of Elko New Market. The Adelman family provided the required matching funds for the grant. The purpose of the grant program is to assist communities in completing land use, transportation and environmental studies and contracted planning services that are intended to maximize development opportunities within the top ten commercial corridors as established by SCALE.

The Planning Commission reviewed the draft concept plans for the property in April of 2018 and expressed support the general layout. The marketing materials were not available at the time of the Planning Commission review, but the general layout as depicted on pages 18, 19 and 20 of the marketing materials was supported by the Planning Commission.

The development plans are fairly high level and do not depict lot lines, lot sizes, setbacks, etc. so staff's ability to review the plans are somewhat limited. Staff has primarily reviewed the concept plan for proposed land uses, roadway alignments and general utility layout. Appro development has noted that there will be one correction to page 8 of the marketing materials related to the description of the Business / Limited Industrial Parking zoning guide. The text under this section will be corrected to say "This district is intended to provide for the establishment of high quality business offices, wholesale showrooms, limited light industrial and light manufacturing, and related uses."

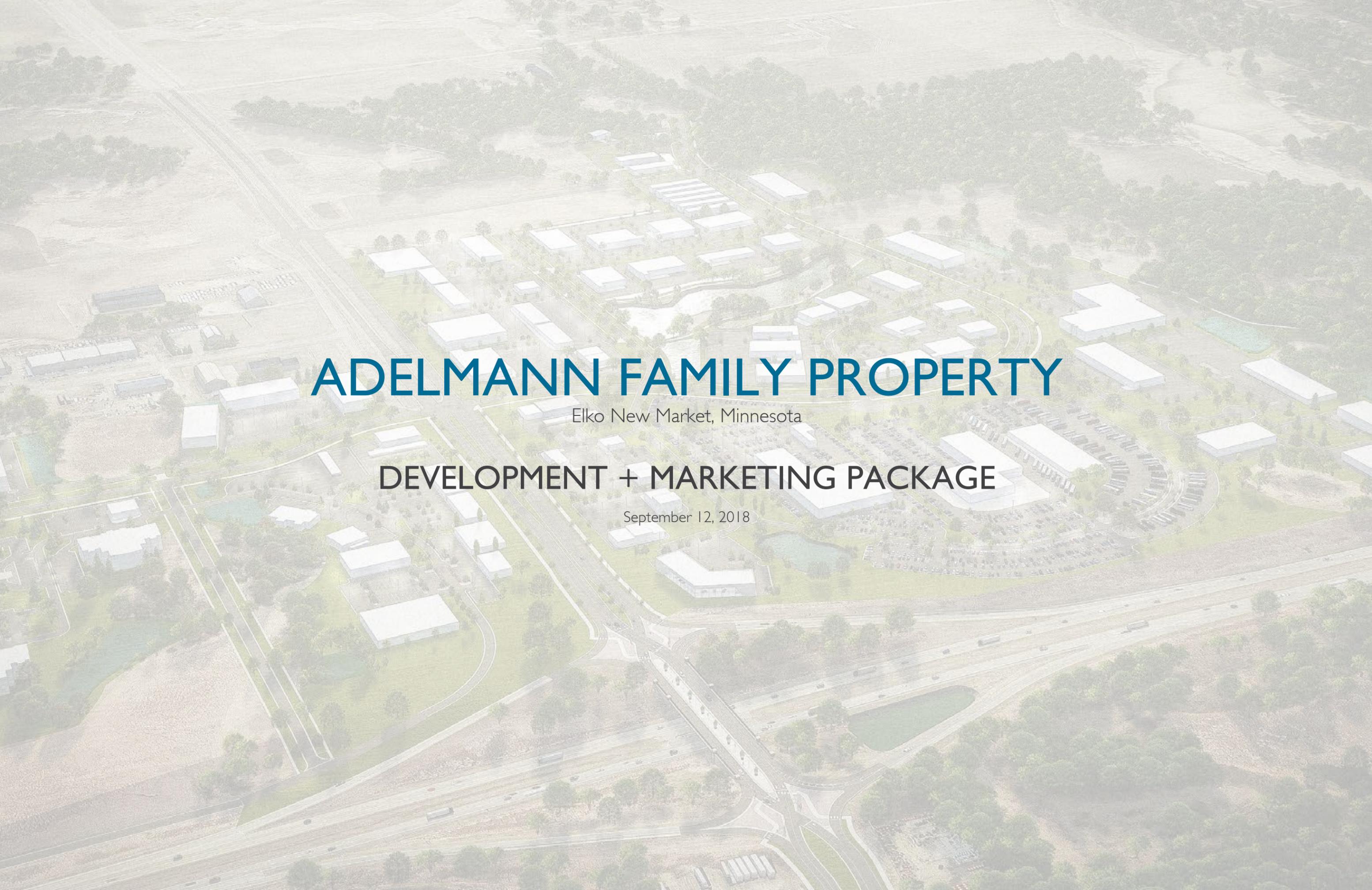
## **ACTION REQUESTED:**

The City Council is being asked to receive and accept the conceptual development plans and marketing materials for the Adelman properties as outlined in the Memorandum of Understanding between the Scott County Community Development Agency and the City of Elko New Market dated February 16, 2017, related to the West Interchange Area Design Project – and subject to the proposed change to page 8 and noted above. Staff notes that any future development of the property will be subject to the terms of the orderly annexation agreement and predevelopment agreement, consistency with the Comprehensive Plan, Zoning and Subdivision Ordinances, and normal development procedures.

Acceptance of these materials by the City Council will complete the 2017 grant phase of the project. A 2018 grant was also awarded for preparation of an AUAR, wetland delineation and tree inventory.

## **Attachments:**

- Adelman Family Property Development & Marketing Package dated September 12, 2018 + Appendix A
- Marketing Video - <https://www.youtube.com/watch?v=uGubOWmGRi0&feature=youtu.be>



# ADELMANN FAMILY PROPERTY

Elko New Market, Minnesota

## DEVELOPMENT + MARKETING PACKAGE

September 12, 2018



Project #17-20548

This plan, undertaken by ISG in 2018 in collaboration with APPRO Development, was prepared exclusively for the Adelman Family.

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Geotechnical Testing Report.....D  
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# 01 INTRODUCTION

## Community Context

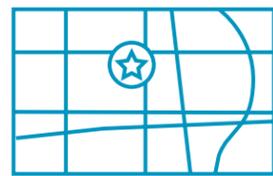
► Settled in the spring of 1856, the community of Jackson was organized in May of 1858. On October 12, 1858 the community was renamed, likely after a famous horse race town near Cambridge in England, New Market. New Market was incorporated as a village on August 28, 1895.

The Chicago-St. Paul Railroad platted a neighboring community in 1902, which would later become the City of Elko. The railroad spurred growth within the community, and in 1949, the village of Elko was incorporated.

Construction of Interstate 35 began to the east of the neighboring communities in the 1960's and the railroad left town in 1977. The communities continued to grow with the addition of The Elko Speedway, Boulder Pointe Golf Course, and a variety of local stores and eating/drinking establishments.

After a series of public meetings throughout 2005, a referendum was held in 2006 to consider the merger of the two cities. Residents supported the merger in an overwhelming 84-percent. Taking effect on January 1, 2007, the two cities merged into the now prosperous city of Elko New Market.

A community with a rich history, encompassing approximately 3.4 square miles and surrounded by parks, trails, and the Vermillion River, Elko New Market provides "Small-town culture. Emerging possibilities".



30 miles from Minneapolis, MN  
 60 miles from Mankato, MN  
 70 miles from Rochester, MN  
 100 miles from St. Cloud, MN  
 140 miles from La Crosse, WI



Nestled along the Interstate 35 corridor and County State Aid Highway 2. Key Vehicular connections to Wisconsin and Iowa.



4,716 Residents  
 1,437 Households



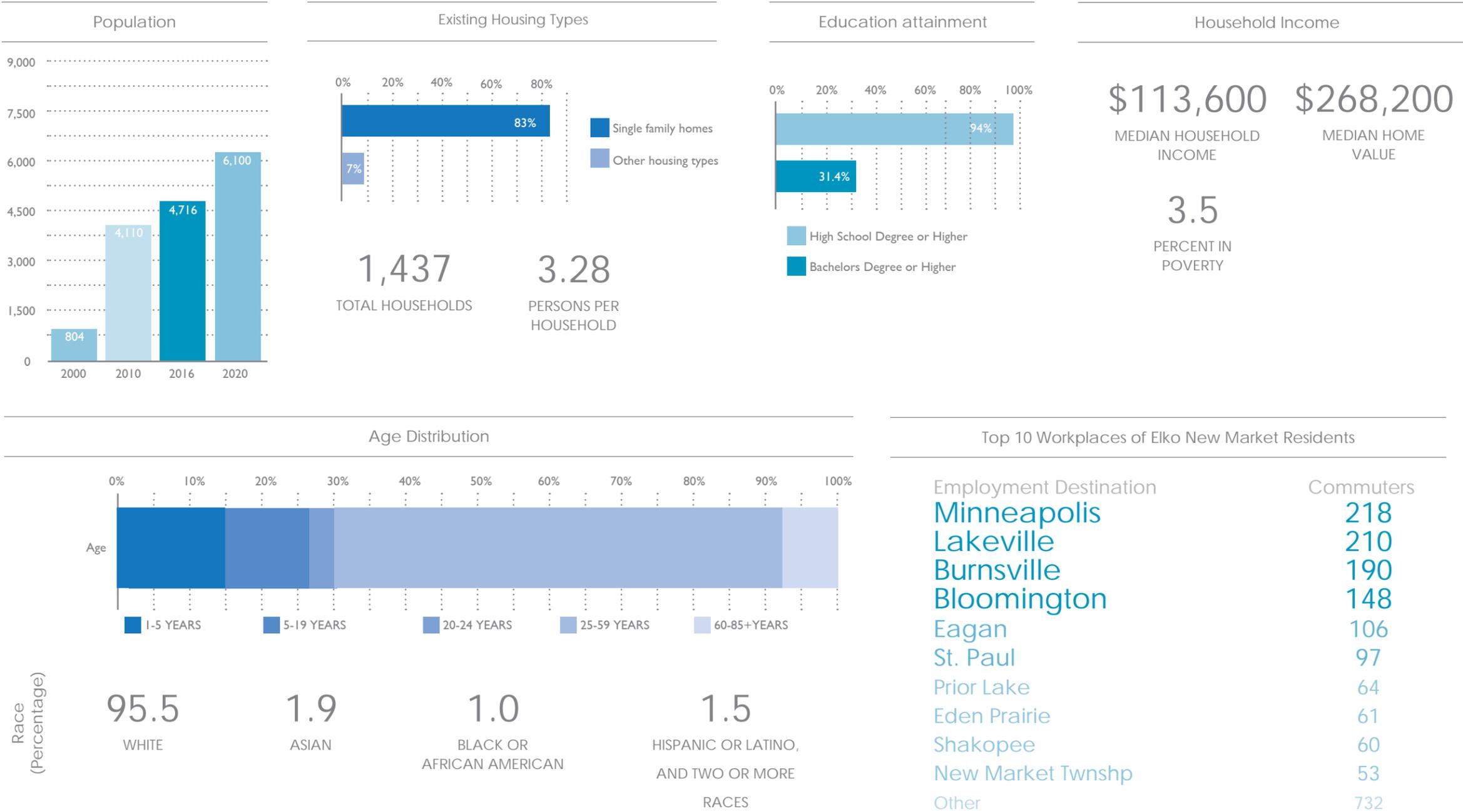
Host to 2 public school districts, and one private school.



Surrounded by 88 Acres of Parks, Recreation, and Preserves

Demographics

The following information explores characteristics of the existing population base, and served as a guide in identifying and aligning recommendations of outreach efforts and plan goals. The information was sourced via the Metropolitan Council (Met Council), U.S. Census Bureau, and American Community Survey which included a detailed Community Profile.



# 02 PROPOSED DEVELOPMENT

Land Use  
Environmental  
Transportation  
Infrastructure  
Concept

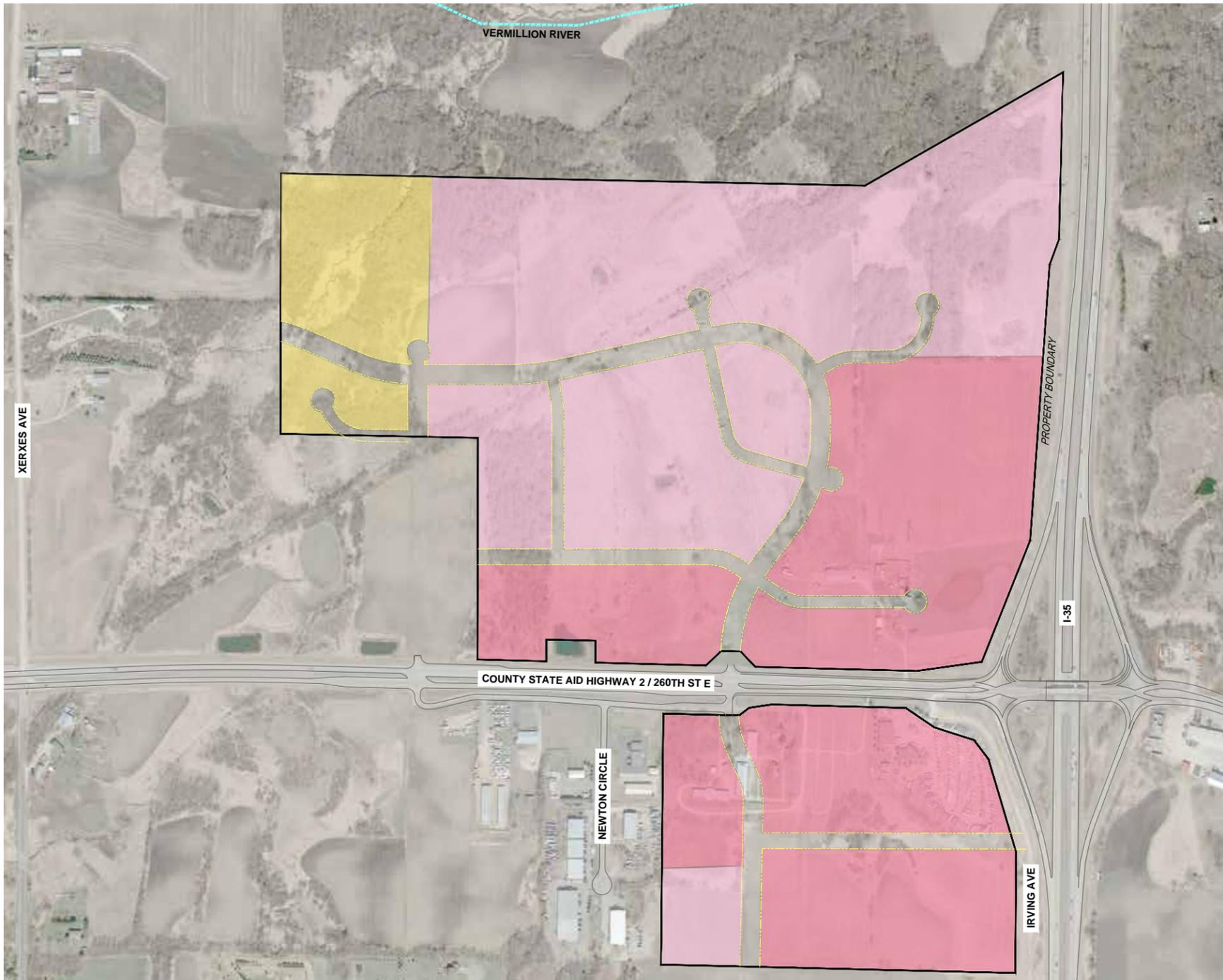




## Land Use

### PROPOSED LAND USE MAP

The 242.56 acre site is comprised of dedicated business / limited industrial, commercial, and medium density residential uses. The proposed land uses are equivalent to the drafted City of Elko New Market 2040 Land Use Maps to help identify long-term service needs for the city.

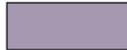
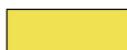


LAND USE	TOTAL AREA, ACRES
 BUSINESS / LIMITED INDUSTRIAL PARK	116.11 AC
 COMMERCIAL	103.97 AC
 MEDIUM DENSITY RESIDENTIAL	22.48 AC
 PROPERTY BOUNDARY	

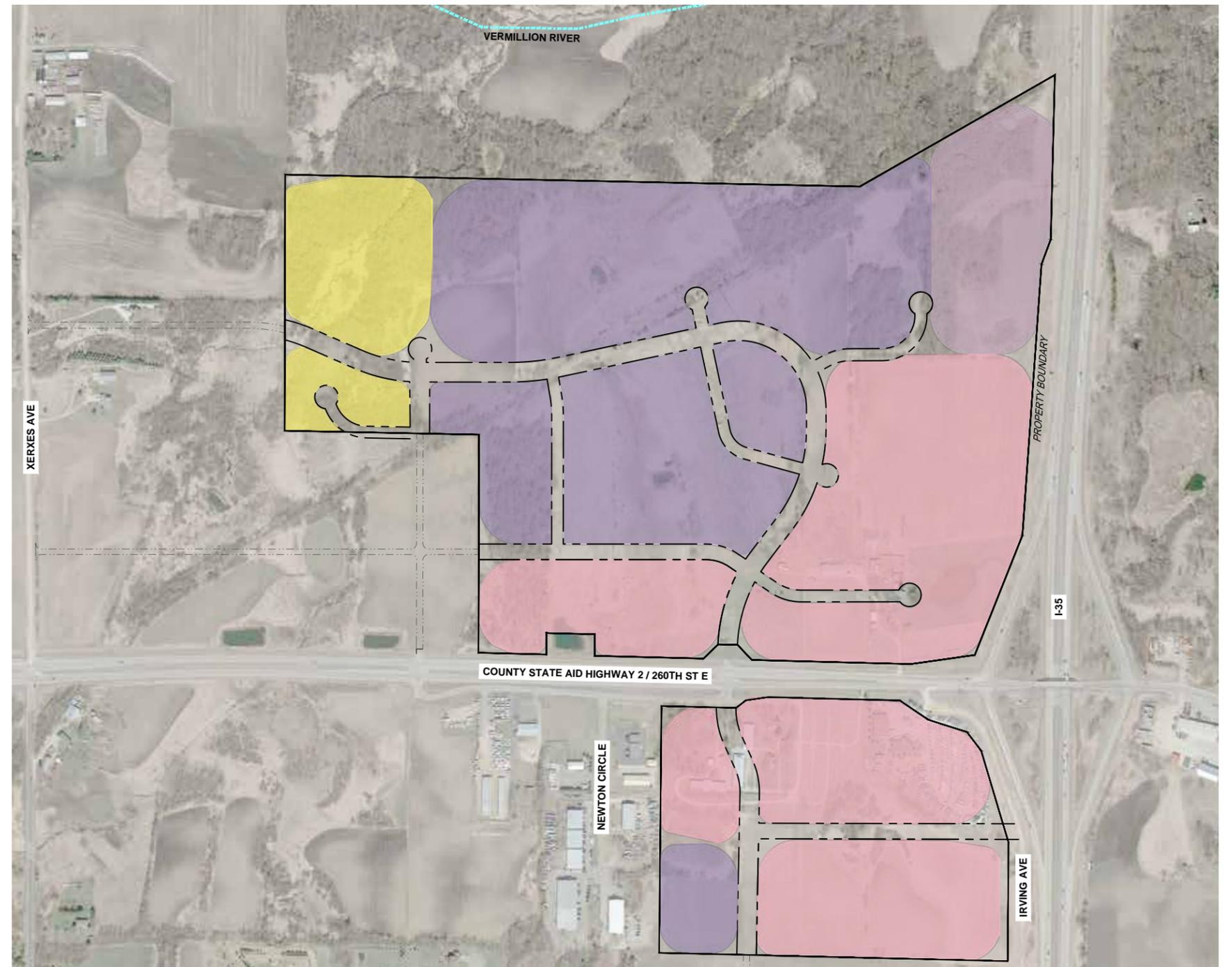
NOTE: Total Areas are not excluding the wetlands, protected trees, or right-of-way.

### ZONING GUIDE

The City of Elko New Market is designated by the Metropolitan Council as a Rural Center Planning area, allowing the city to grow and allocate development within the rural area. The following zoning districts and descriptions are those that apply to the Property, matching the City's guided zoning map to help maintain their growth management and achieve their development goals.

	LAND USE	TOTAL AREA, ACRES
	<b>BUSINESS/LIMITED INDUSTRIAL PARK</b> This district is characterized by the establishment of warehousing and light industrial development. The uses are limited to those which can co-exist with adjacent lower intensity businesses and high intensity manufacturing uses and have limited truck traffic in comparison to higher intensity industrial districts.	<b>99.16 AC</b>
	<b>BUSINESS CAMPUS DISTRICT</b> The district will provide establishments of business offices, wholesale showrooms, and related uses in an environment which provides a high level of amenities.	<b>16.95 AC</b>
	<b>HIGHWAY(GATEWAY) BUSINESS DISTRICT</b> The district is intended to limit vehicle dependent commercial services, while creating an attractive gateway to the city. Careful detail to appearance with high quality development is anticipated within this district.	<b>103.97 AC</b>
	<b>MEDIUM DENSITY RESIDENTIAL DISTRICT</b> The district provides opportunities for a variety of attached residential housing options. The land use designation is intended to provide alternative housing options such as two-family dwellings, three-plexes, four-plexes, and townhomes / condominiums.	<b>22.48 AC</b>
	<b>PROPERTY BOUNDARY</b>	

NOTE: Total Areas are not excluding the wetlands, protected trees, or right-of-way.



Note: provided information is based on a draft portion of the Elko New Market 2040 Comprehensive Plan. Information is subject to change until document is formally published and released.



## Environmental

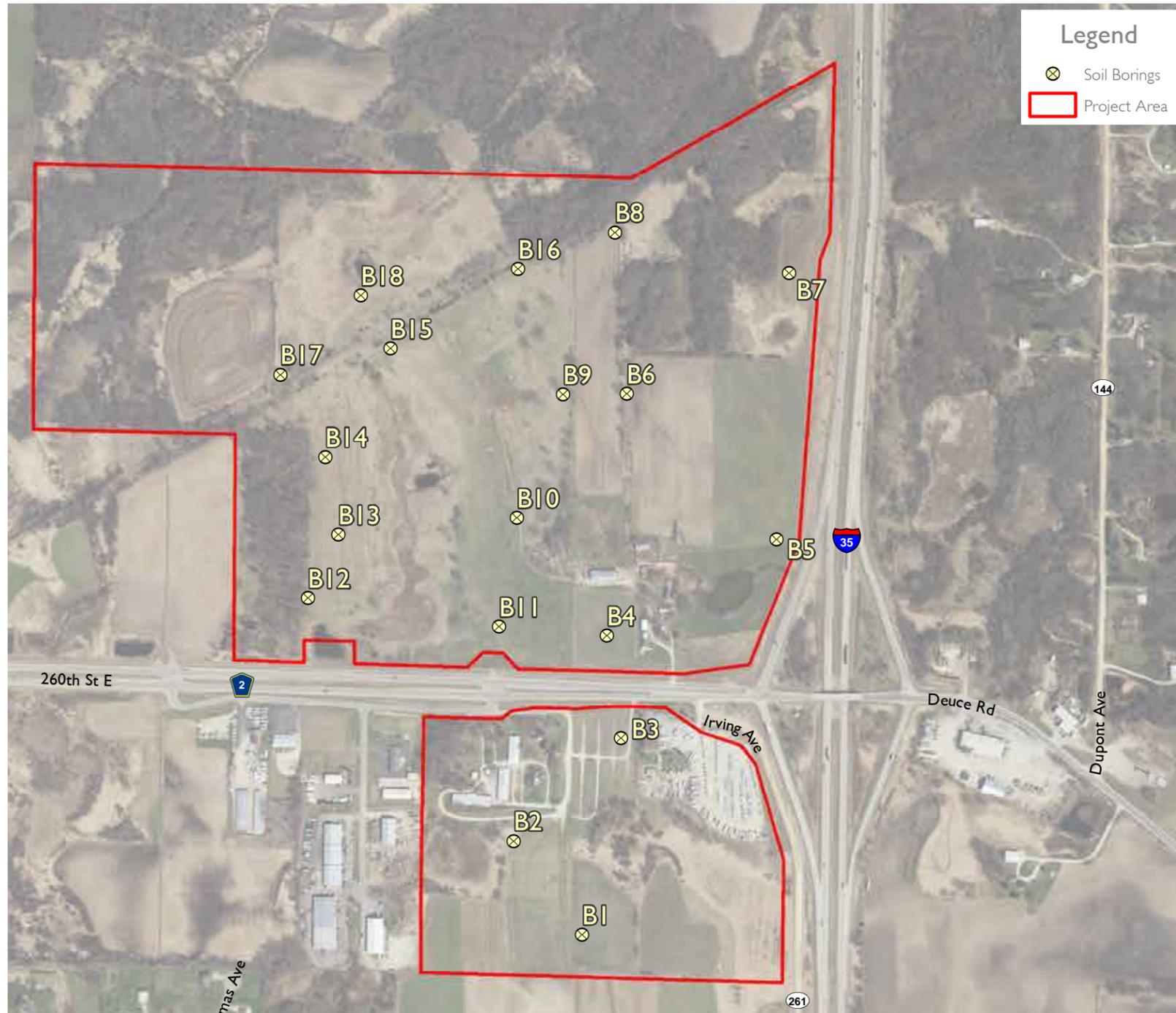
### SOIL MAP

A preliminary Geotechnical Exploration Report was prepared on November 20, 2017 by Element Materials Technology. The subsurface conditions at the indicated locations were evaluated to aid in the development of the site.

The generalized soil profile throughout the site consists of 2 to 12 feet of clay topsoil. General underlying layers consisted predominately of lean clay or sandy lean clay and sands with varying amounts of silt, clay, and gravel.

Groundwater was generally encountered below the drilling surface at depths ranging from 2 to 15 feet throughout the site. The resulting conditions are consistent with the anticipated soil and hydrological conditions, requiring typical grading and excavation of unsuitable soils before development.

For additional site findings and development recommendations, see Appendix: Inventory & Analysis.



BORING NUMBER	RECORDED WATER DEPTH (FEET)	EXISTING GROUND SURFACE ELEVATION MSL (FEET)	GROUNDWATER ELEVATION MSL (NEAREST 1/2 FOOT)	MINIMUM EXCAVATION DEPTH (FEET)	APPROX. ELEVATION OF COMPETENT SOIL MSL (NEAREST 1/2 FOOT)
B1	12-1/2	1110.3	1098	5	1105-1/2
B2	5	1115.8	1111	12	1104
B3	9	1117.5	1108-1/2	2	1115-1/2
B4	9-1/2	1118.6	1109	2	1116-1/2
B5	11	1111.2	1100	1-1/2	1109-1/2
B6	4 <sup>2</sup>	1087.5	1083-1/2	4	1083-1/2
B7	- <sup>1</sup>	1113.3	-	1-1/2	1111-1/2
B8	3 <sup>2</sup>	1072.0	1069	4	1068
B9	13-1/2	1085.1	1071-1/2	2	1083
B10	15	1108.6	1093-1/2	4	1104-1/2
B11	- <sup>1</sup>	1113.9	-	1-1/2	1112-1/2
B12	9	1103.4	1094-1/2	1-1/2	1102
B13	7	1095.8	1089	6	1090
B14	9-1/2	1096.1	1086-1/2	7	1089
B15	7-1/2	1085.9	1078-1/2	4-1/2	1081-1/2
B16	- <sup>1</sup>	1079.6	-	2	1077-1/2
B17	3	1080.6	1077-1/2	4-1/2	1078
B18	2	1076.6	1074-1/2	7	1069-1/2

1. Groundwater was not observed during drilling operations.  
 2. Perched groundwater encountered at this location. Groundwater rose within the borehole during drilling operations.

### ENVIRONMENTAL - WETLAND + MITIGATION + RELOCATION MAP

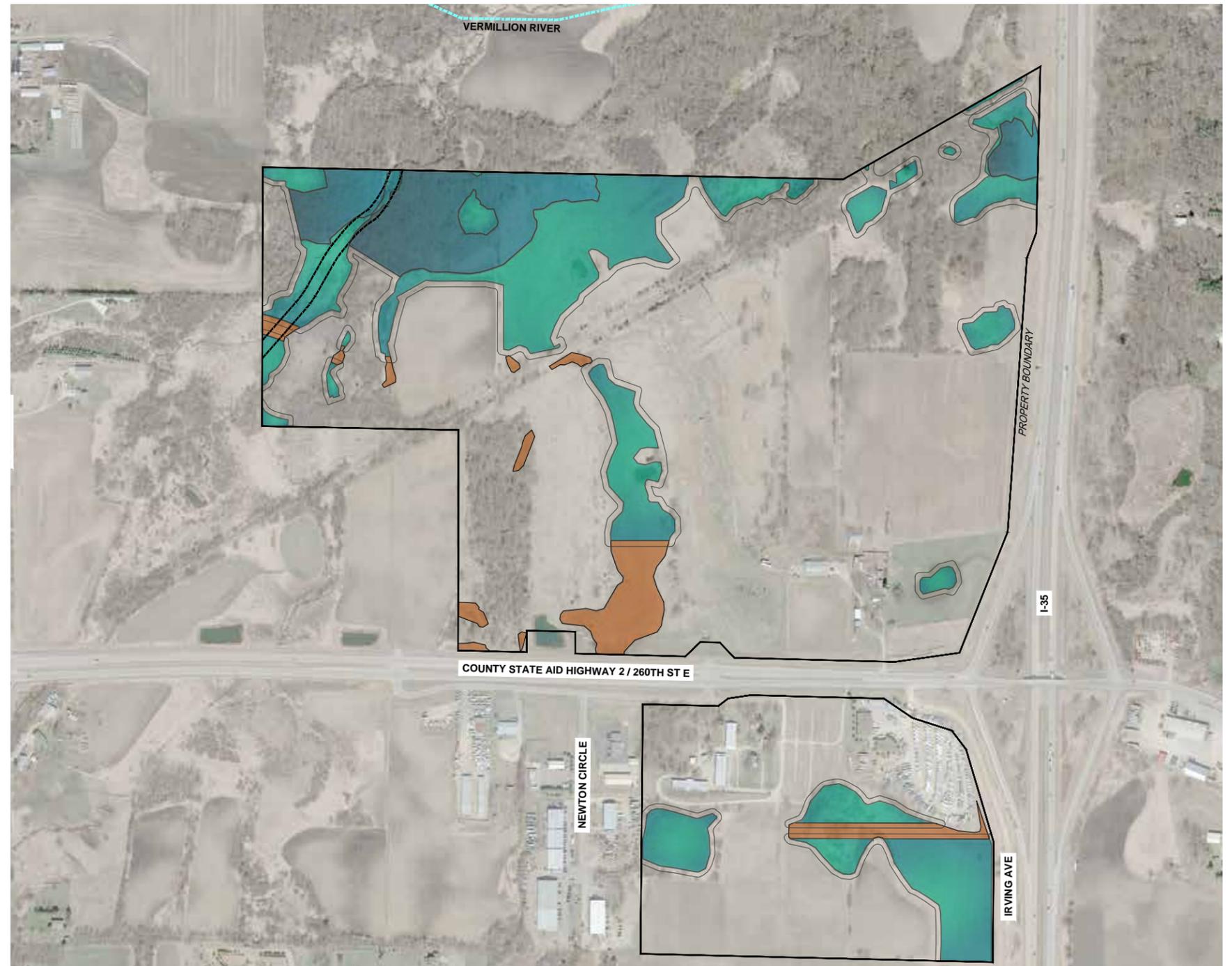
Wetlands currently make up over 17 percent of the 242.56 acre property. Mitigation of wetlands within the highway (Gateway) Business District and proposed roadway will help achieve a more connected land use pattern that can be served more efficiently and economically. The mitigation wetland area will be relocated to the north of the property. The relocated wetlands will enhance the existing wetland, waterway corridor, and proposed trail to allow for a large natural area on site. The remaining wetlands will be utilized as a natural feature and provide a visual break from other development. The proposed wetland relocation, with the remainder wetland areas, will increase the amount of wetlands throughout the site from 17 to 20 percent of the total land.

*The City of Elko New Market requires wetland mitigation to be on site and within the same major watershed. If the criteria cannot be fulfilled, wetland credits can be purchased per city square foot or wetland bank credits may be used.*

Wetland buffers are required by the City to protect the wetland from the effects of nearby development. A wetland delineation was completed by ISG in June 2018. Based on the gathered information, a preliminary wetland functional assessment of "Medium" ranking was set. Based on City Standards, a range of wetland buffers 25-30 feet is currently shown but is subject to change.

	TYPE	SIZE, ACRES
	REMAINING WETLAND BOUNDARY	34.74 AC
	PROPOSED WETLAND MITIGATION BOUNDARY	6.83 AC
	PROPOSED WETLAND RELOCATION AREA	13.45 AC
	WATERWAY CORRIDOR	

*Note: Wetland boundaries and buffers are subject to change after completion of 2018 wetland delineation and AUAR. Existing wetland type and boundaries are based off of current NWI delineation and site visits.*





**VEGETATION - PROPOSED TREE CONSERVATION PLAN**

A tree inventory of the property was completed by Jacobson Engineers on October 4th, 2004. The map shown below indicates the general areas that trees are located throughout the site. In 2018 a new tree survey will be completed of the site and the illustrated areas are subject to change.

The City of Elko New Market requires forty-percent of significant trees to be preserved. Tree preservation is focused around existing wetlands and throughout the north of the site, where wetlands are proposed to be relocated.

Upon completion of the 2018 tree survey and AUAR, there is an opportunity to propose a floodplain forest or type 7 wetlands in the northwestern corner of the property. Due to the lack of abundance, this wetland type is highly sought after and would allow for more existing trees to be conserved. Additional landscaping will be located throughout the development to provide natural buffers and assist in meeting the required forty percent preservation / replacement.

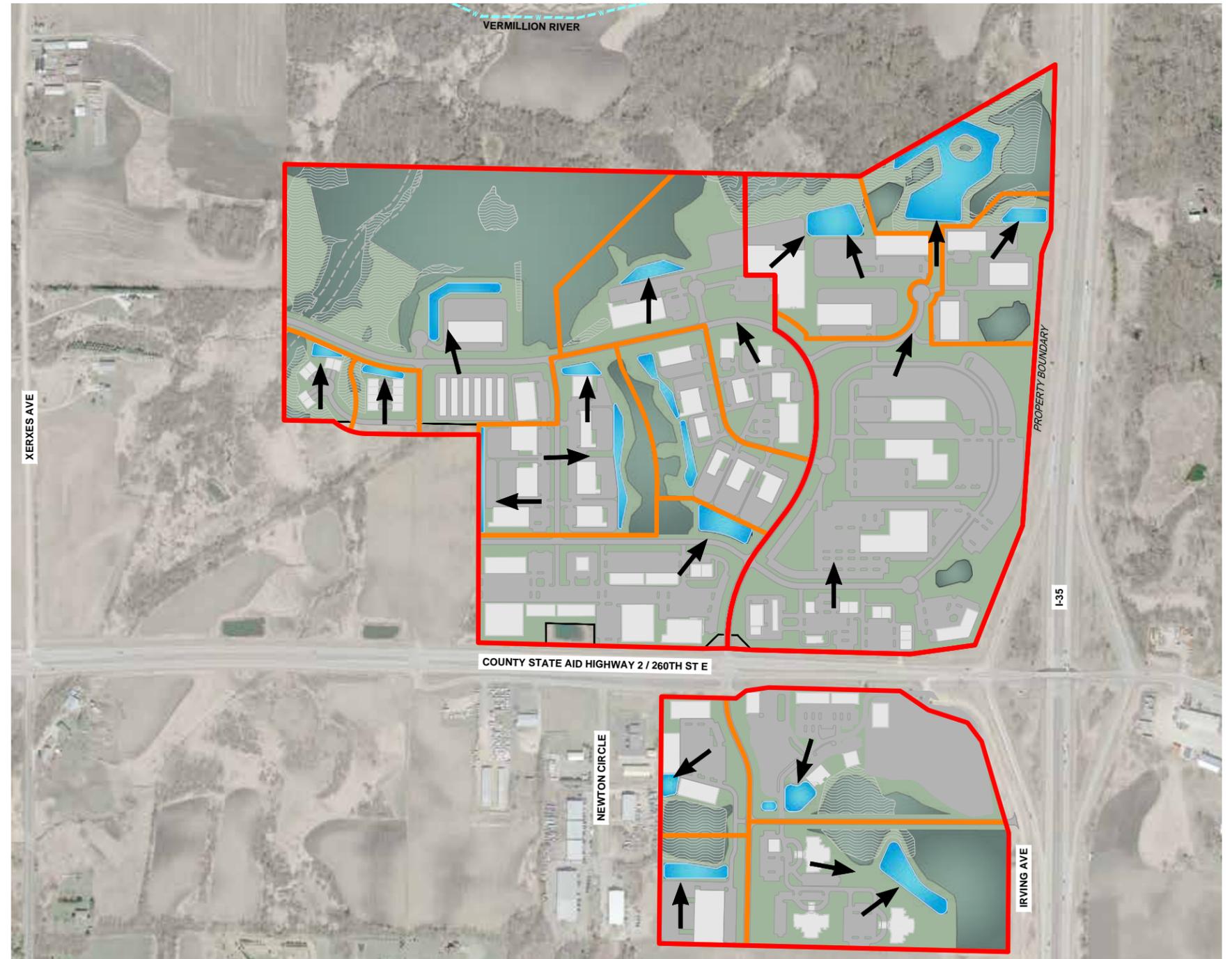
	TYPE	SIZE, ACRES
	EXISTING TREE(S)	77.87 AC
	PROPOSED PRESERVED TREES	23.27 AC

### WATER - STORMWATER NETWORK/DRAINAGE PLAN

The northern portion of the Property generally drains north towards the Vermillion River, while the southern section of the Property flows east, under Interstate 35, and to a tributary of the Vermillion River. The basins are designed to act as treatment for the stormwater run-off of future developments within the Property.

ISG estimated run-off produced from the proposed sites and strategically placed stormwater basins to serve the future development.

	TYPE	SIZE, ACRES
	STORMWATER AREA	9.85 AC
	BUILDING AREA	
	MAJOR WATERSHED	
	SUB WATERSHED	
	IMPERVIOUS AREA	180.00 AC
	DRAINAGE DIRECTION	





## Transportation

### TRANSPORTATION PLAN

The roadway network of the future development consists of roadway classifications of Minor and Major Collectors. The Collector roadways provide a balance of mobility and land-use access throughout the site.

With direct access to CSAH 2 and in close proximity to I-35, it is important that the area surrounding the CSAH 2/ I-35 interchange operates safely and with minimal delay. It is anticipated and shown that the interchange will be reconstructed as a diverging diamond intersection. The full design can be found in Appendix A, page 13.

Roadways within the development will be designed in a single overall effort, but implemented in phases as development naturally progresses.



	TYPE	LENGTH, LINEAR FEET
	MINOR COLLECTOR	6,660 LF
	MAJOR COLLECTOR	5,700 LF
	FUTURE ROAD	
	RIGHT-OF-WAY	

### PEDESTRIAN + BICYCLE NETWORK MAP

Pedestrian pathways provide a quality-of-life amenity which has been expressed within the community of Elko New Market.

By providing pedestrian access and emphasizing the natural features on the site, the proposed pedestrian pathways and trails provide a community-inclusive mode of transportation to the population yielding unique advantages of social integration.

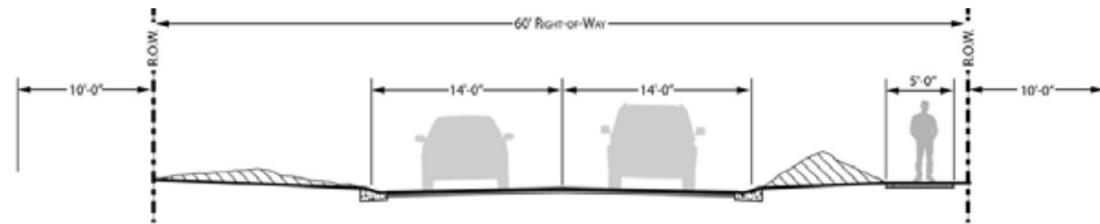
Within the northern portion of the site, trails are proposed to navigate pedestrians around and through the varying terrain and wetlands - providing access to the county trail corridor that follows the remnant railway corridor in the south. With the future construction of the interchange between CSAH 2 and I-35, pedestrians will have an access point across the interstate - expanding the county trail system.

TYPE	LENGTH, LINEAR FEET
 10-FOOT TRAIL	8,656 LF
 5-FOOT SIDEWALK	17,540 LF

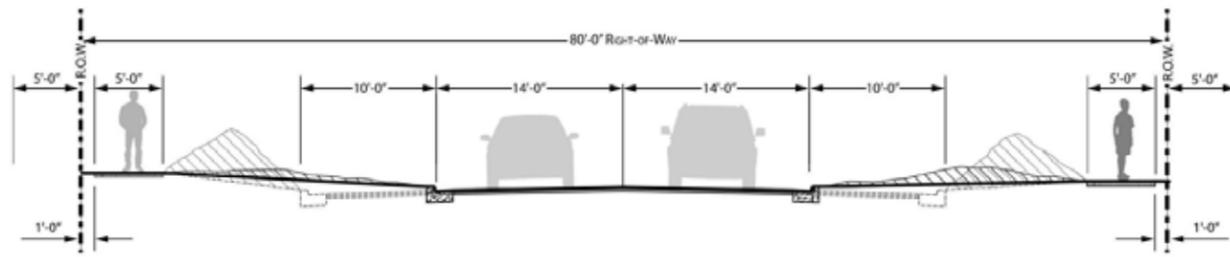


### TYPICAL ROADWAY SECTIONS

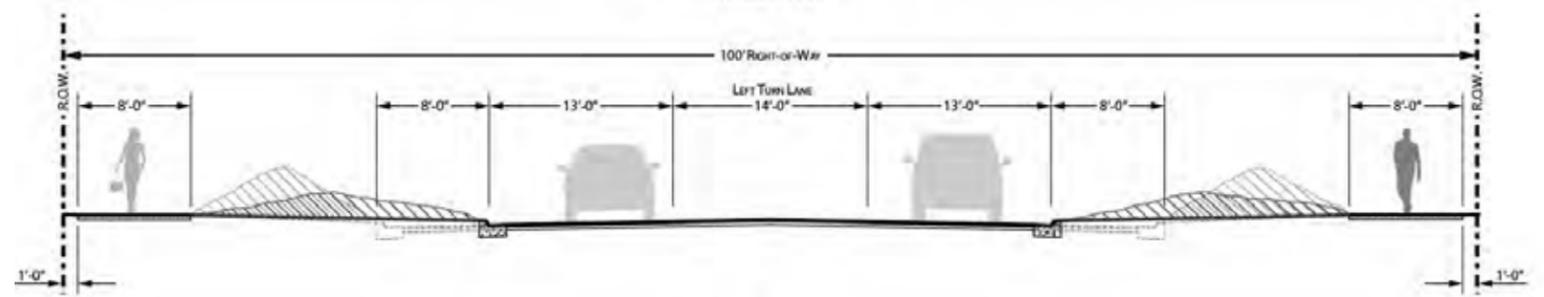
The following typical sections show the city of Elko New Market right of way and pavement dimensions based on the functional roadway classification.



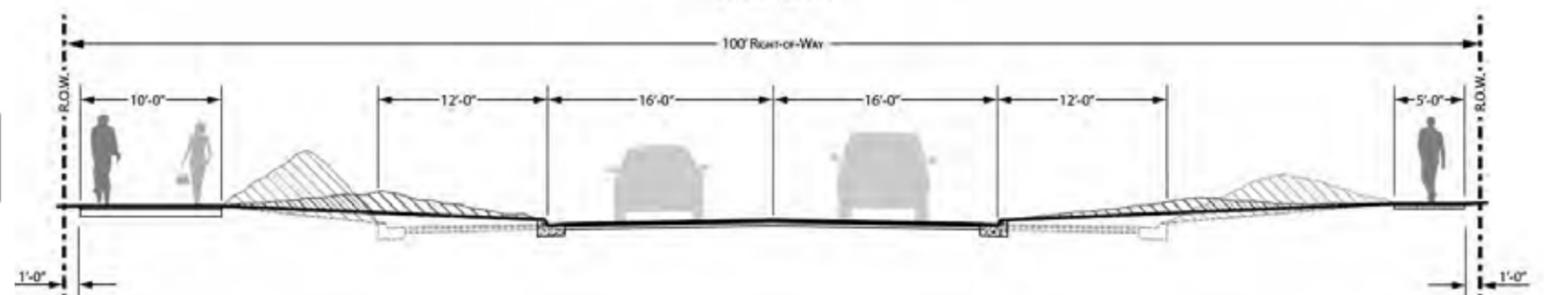
**MINOR COLLECTOR STREET**  
TYPICAL SECTION



**COMMERCIAL COLLECTOR**  
TYPICAL SECTION



**MAJOR COLLECTOR**  
TYPICAL SECTION



————— BASELINE DESIGN

≡≡≡ EXTENDED/FUTURE DESIGN

//// SNOW STORAGE

Note: pedestrian-only sidewalks would be 5'-8" in width, multi-use trail would be 10'.

City of Elko New Market Typical Sections of Roadway from Bolton & Menk, Inc., Source: Draft City of Elko New Market 2040 Comprehensive Plan. Note: provided information is based on a draft portion of the Elko New Market 2040 Comprehensive Plan. Information is subject to change until document is formally published and released.



## Infrastructure

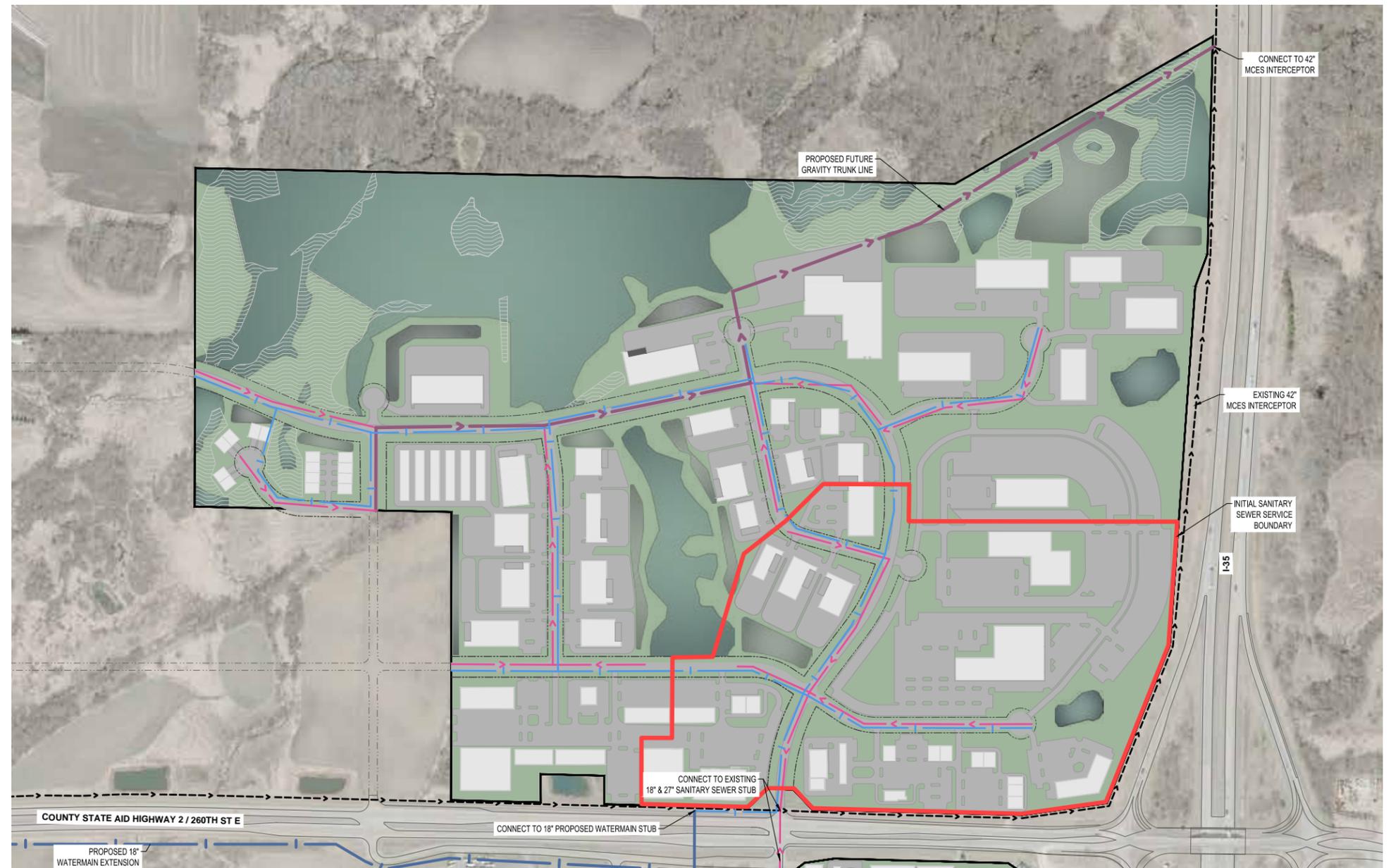
### SANITARY SEWER + WATER DISTRIBUTION

The existing watermain is to the west of the site, along France Avenue. To serve the site, it is intended to connect to the existing 16-inch watermain and stub 12-inch services at the two accesses along CSAH 2.

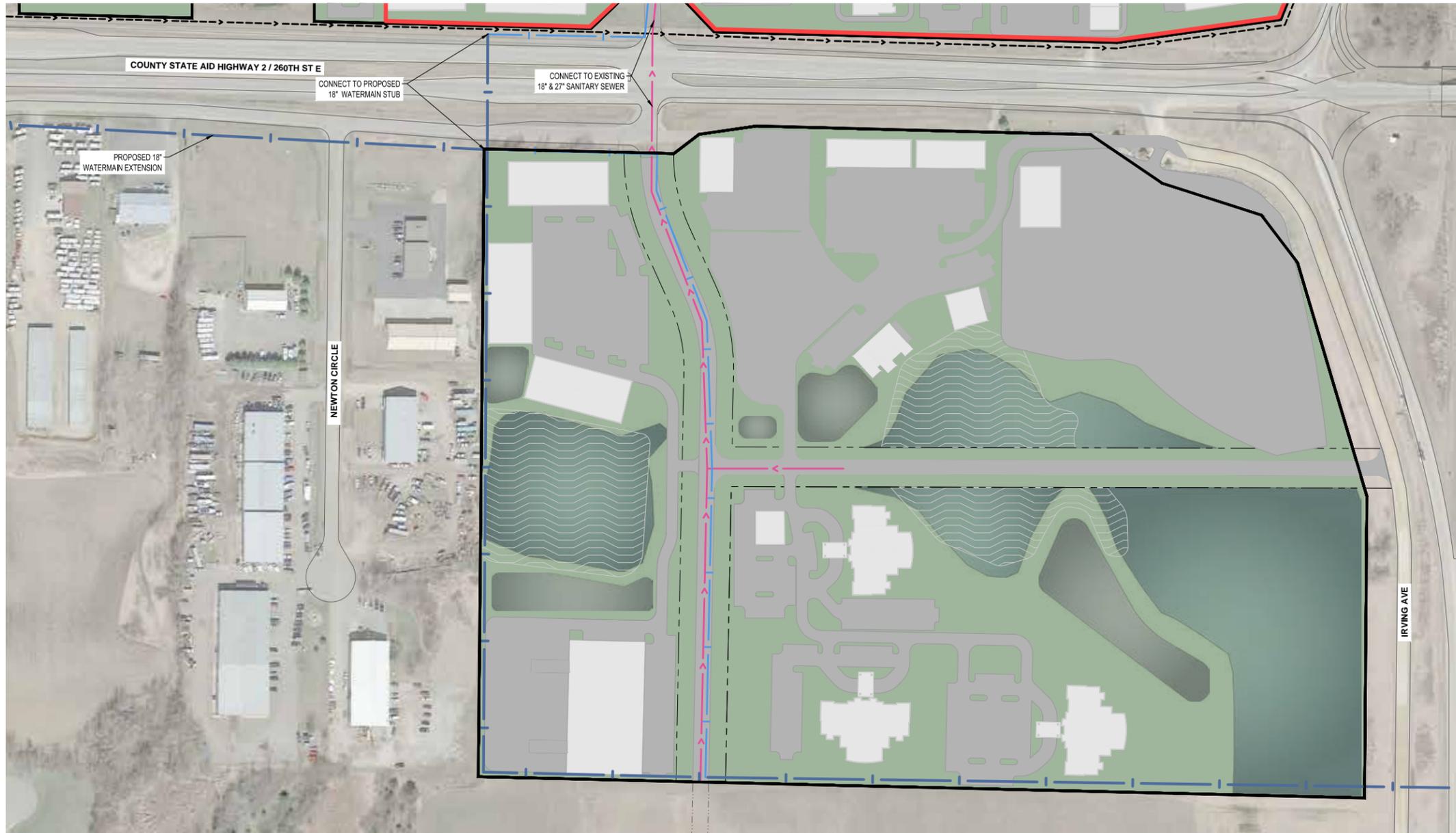
The existing sanitary MCES interceptor runs parallel along CSAH 2 and to the north at the intersection with CSAH 2. An 18-inch and 27-inch stub is located at the eastern access of the site and will provide service throughout. The shown boundary indicates the approximate area that could be served immediately with the city watermain extension, sanitary connection to the MCES interceptor, and site grading.

The city infrastructure development plans can be referenced within Appendix A, page 16 .

-  PROPOSED SANITARY SEWER
-  PROPOSED TRUNK SEWER
-  PROPOSED WATERMAIN
-  PROPOSED WATERMAIN EXTENSION



NORTH CONCEPT



-  PROPOSED SANITARY SEWER
-  PROPOSED TRUNK SEWER
-  PROPOSED WATERMAIN
-  PROPOSED WATERMAIN EXTENSION

*Note: The south portion of the development can be served by the sanitary service connection at CSAH 2.*

SOUTH CONCEPT



## North Concept Plan

### SUMMARY

The area located to the north and south of CSAH 2 should be seen as the first development priority. The land is guided to Highway (Gateway) Business, and is commercial use. The land has high visibility to those entering or exiting Elko New Market and is the first impression to the city. Careful detail to appearance with high quality development is anticipated within this area.

Retail stores and services, grocery, quick-service restaurants, etc. can keep family in-mind and provide additional attraction for future residents of the city while providing opportunities for services that are not locally available.

Future development along Interstate 35 provides high visibility for larger commercial uses – such as vehicle or implemented dealerships. In the northeast corner there is an opportunity for a business campus that would have high visibility and be surrounded by natural buffers from neighboring businesses. The locational strengths of the site, including the high visibility/accessibility, will continue to hold their value over time.

Tucked away, in the central portion of the site is a business / limited industrial park district. The limited manufacturing and general contractor operations facilities can serve the region, providing jobs to local and surrounding cities. A centralized pathway is provided to promote a healthy community and break from the standard daily routine. The pathways provide direct access to the county trail corridor system and to the retail services.

To the northwest of the site, a medium density residential area can begin to flourish. With 1-percent of the city land developed for multi-family residential and 28-percent for single-family detached (MET Council and NAC), the area provides alternative housing options including four-plexes and townhomes. The shared access will have direct transportation to CSAH 2 and to the Interstate. On days where a vehicle is not required, the communities within this area have the most direct access to the county trail system and to the local amenities the site has to offer.

Flexibility will be needed as the northern section of the site develops because it would be ideal to develop over time.

The North Concept includes developable areas of:

<b>HIGHWAY (GATEWAY) BUSINESS/COMMERCIAL DISTRICT</b>	<b>52.45 AC</b>
<b>BUSINESS / LIMITED INDUSTRIAL PARK</b>	<b>53.76 AC</b>
<b>BUSINESS CAMPUS DISTRICT</b>	<b>10.81 AC</b>
<b>MEDIUM DENSITY RESIDENTIAL DISTRICT</b>	<b>7.20 AC</b>



## South Concept Plan

### SUMMARY

South of CSAH 2, retail services, offices, hospitality, and limited manufacturing can coexist and provide additional services to travelers. The exit for Elko New Market is approximately 20 miles between Lakeville and Lonsdale. With typical gas and quick service amenities at these locations, there is an opportunity to expand upon these same services and become a new gateway stop along the Interstate. The right-out access of the site allows for vehicles to quickly reach I-35 while having a larger variety of retail and restaurants. The south has the same advantage as the north; with high visibility from the county roadway and Interstate, there is an opportunity to become a city staple and provide services currently not available within the city. Additionally, the site is located within a mile from the Elko Speedway and the Drive-in Theater - two of the principal attractions of the city.

Setback from the busy Interstate and buffered by natural wetlands, to the southeast portion provides an opportunity for hospitality to be developed. The closest hotel to the city is approximately 8 miles away, in New Prague. Amenities, like the north development, will be interconnected with sidewalks and trails, giving travelers the opportunity to explore the development and the option of a short-drive or bike ride to other features of the city.

The South Concept includes developable areas of:

<b>HIGHWAY (GATEWAY) BUSINESS/ COMMERCIAL DISTRICT</b>	<b>29.84 AC</b>
<b>BUSINESS / LIMITED INDUSTRIAL PARK</b>	<b>3.96 AC</b>



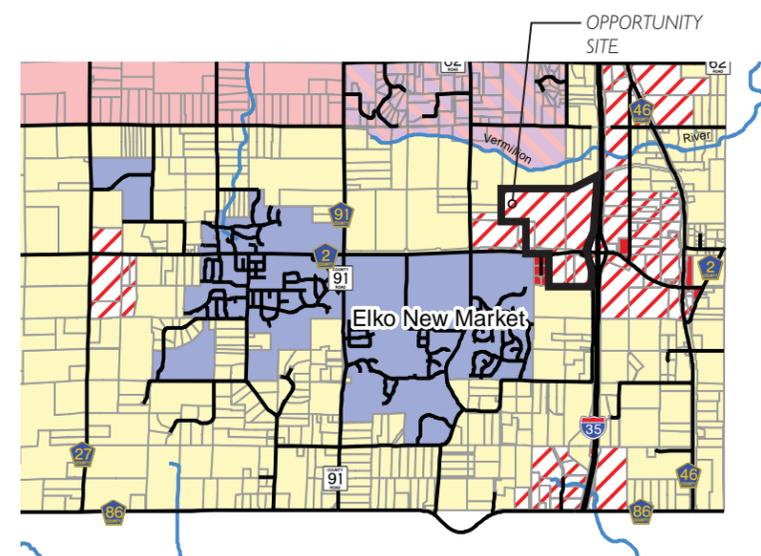
Illustrative Perspective



# APPENDIX A - INVENTORY + ANALYSIS

## LAND USE

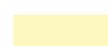
**INTRODUCTION** The Property is conveniently located North and South of County Road 2 and adjacent to Interstate 35. Due to the proximity to Interstate 35, the property aligns with a sub area that Scott County has designated as a Highway Commercial Corridor. Four Major roadway corridors fall within the indicated sub area, and are highly visible entrance points into the county. Design standards are stricter within the Commercial Corridor and the County's Comprehensive Plan indicates that any sites within should encompass a clean and visually appealing atmosphere and encourage higher architectural standards for commercial and industrial developments. The number of billboards should also be reduced, according to guidelines placed by the *Scott County 2030 Comprehensive Plan Update, Chapter V – Land Use & Growth Management*. Land use of the Property will be evaluated not only by the county designations, but also the City of Elko New Market specified land use(s).



Scott County 2030 Proposed Land Use Plan, Source: Scott County Comprehensive Plan, March, 2009

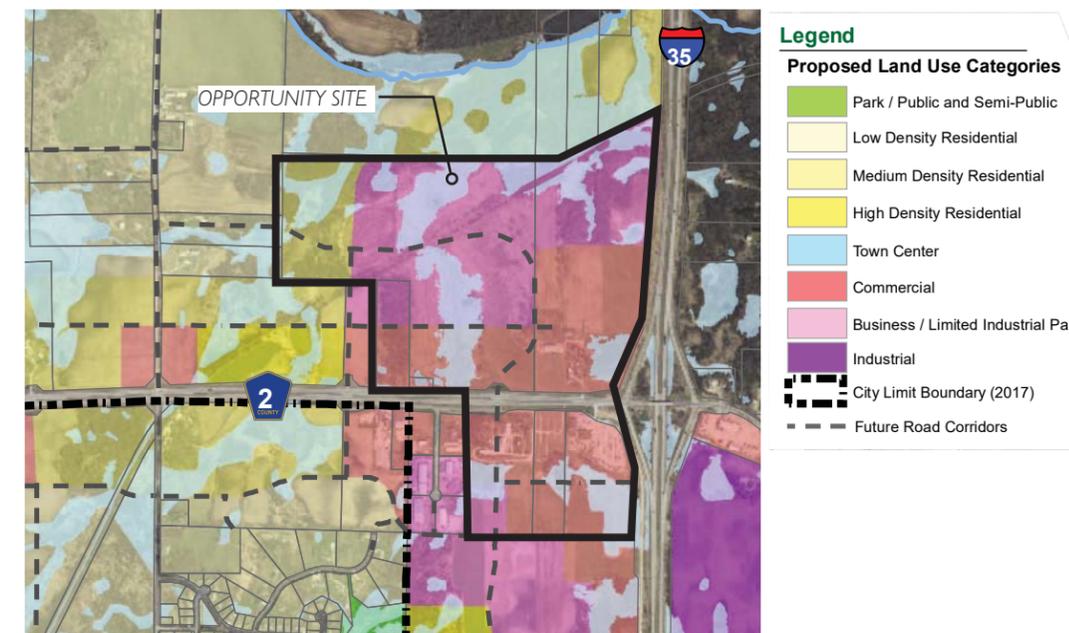
### SCOTT COUNTY 2030 PROPOSED LAND USE PLAN

The following land use types and descriptions are those that are applied to the Property as part of the above noted plan and are intended to guide future development.

- 
**URBAN EXPANSION**  
 These areas anticipated municipal services within the next 40 years. As such, the 2020 Plan recommended low-density "one unit per 40 acre" residential development in these areas to facilitate logical, orderly, and efficient urban expansion in the future"  
  
 Typical Uses: Larger-scale farms and related agricultural uses; small-parcel farms for local food production; single-family detached dwellings; cluster residential developments with buildable land area preserved for future sewered development; institutional uses; and limited recreational open space uses (golf courses, public parks, conservation areas, natural preserves, stables and riding academies)
- 
**COMMERCIAL RESERVE**  
 The purpose of this planning category is to reserve land for future commercial and/or industrial development with urban services. The land will be limited to residential development at a very low density until urban services are provided  
  
 Typical Uses: Agricultural and related uses; single family detached dwellings
- 
**COMMERCIAL INDUSTRIAL**  
 This category is intended to provide land for uses with limited traffic and water usage, outdoor storage, and other uses that may not be appropriate in the urbanized areas. New development will be allowed provided all necessary infrastructure (septic, storm water treatment, interconnected road system, public safety, etc.) is available.  
  
 Typical Uses: General commercial and retail uses; contractor yards; warehousing; offices; manufacturing and processing; outdoor sales and display uses; agricultural and related uses

### HIGHWAY COMMERCIAL CORRIDORS - OVERLAY

Four major roadway corridors pass through Scott County (U.S. Highway 169, MN Highway 13, MN Highway 19, and Interstate 35), making these roadways highly visible entrance points into the county. These entrance points should be cleaned up to visually show the quality atmosphere Scott County offers. This can be done by encouraging higher architectural standards for commercial and industrial development and reducing the number of billboard signs along these Scott County 2030 Comprehensive Plan Update Chapter V - Land Use & Growth Management Page V-48 roadways. The County could also promote quality design, such as monument signage, brick facades, or adding architectural features to the exterior of the building.



Elko New Market Draft 2040 Proposed Land Use Plan, December 2017, Source: City of Elko New Market

### ELKO NEW MARKET PROPOSED LAND USE PLAN

The following land use designations and descriptions are those that apply to the Opportunity Site and are intended to guide future development.

#### MEDIUM DENSITY RESIDENTIAL

Intent: Provide an opportunity to create population centers and to accommodate the demand for life-cycle and affordable housing located near activity areas and transportation corridors.

Uses: Two-family dwellings, three-plexes, four-plexes, and townhouses/condominiums which do not exceed eight units per building are considered permitted uses. Manufactured home parks may also be allowed by conditional use permit.

Density: Residential densities with a range between 5 and 10 units per net acre.

#### COMMERCIAL

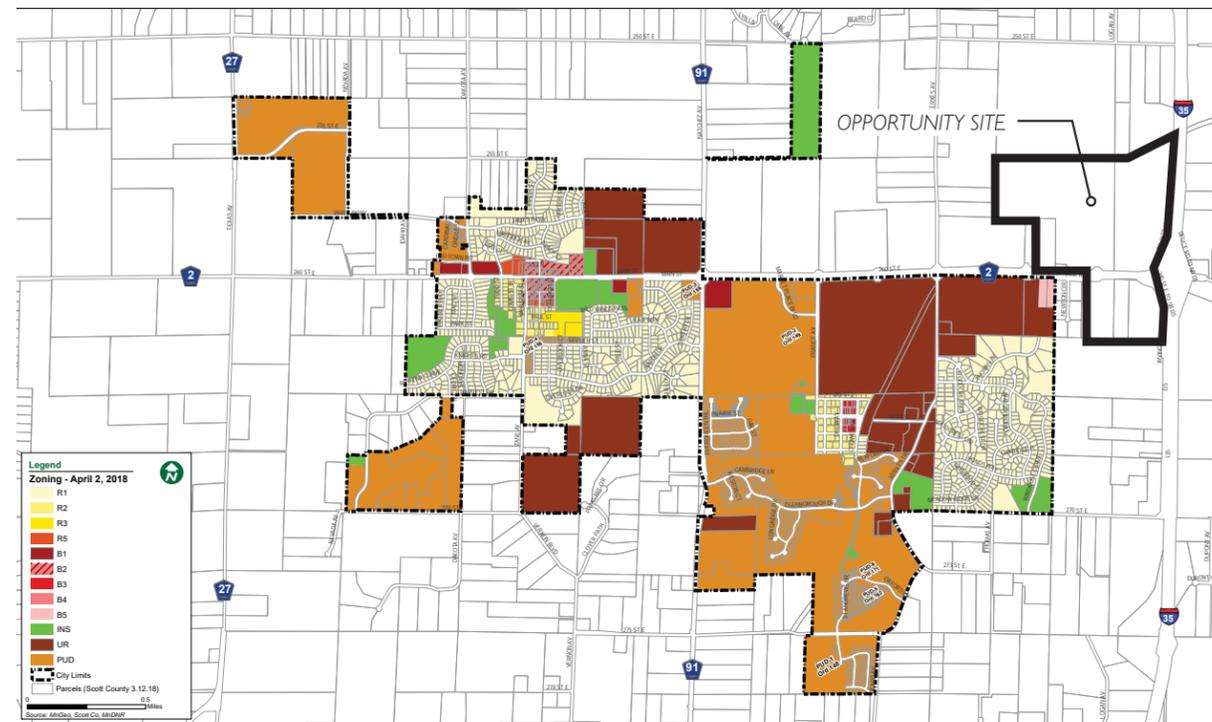
Intent: Provide a location for services, goods, and employment opportunities related to the continued dependence upon the automobile for high mobility and to the growth of leisure and recreational activities in the area.

Uses: Various retail, service, office, entertainment, restaurant, and motor fuel facilities and accessory uses that are clearly incidental are common permitted uses.

#### BUSINESS / LIMITED INDUSTRIAL PARK

Intent: Serve small professional services in a group setting whereas such uses might otherwise be located in retail centers or in scattered freestanding buildings.

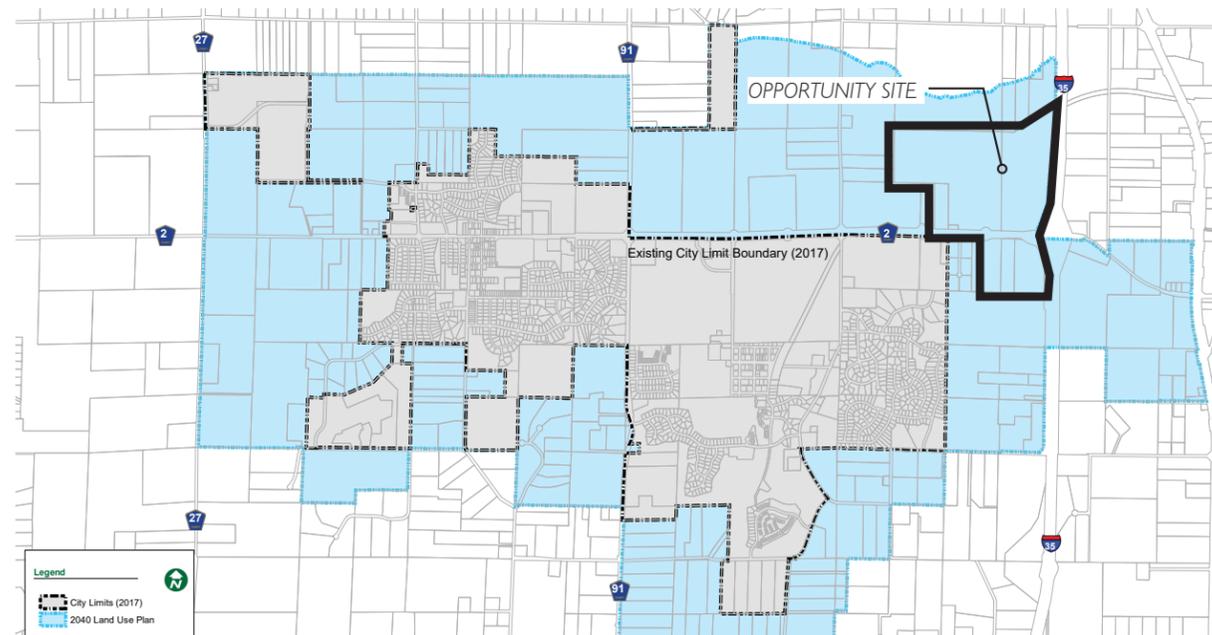
Uses: High quality business offices, wholesale showrooms, limited light industrial, and light manufacturing.



Elko New Market Zoning Map, April 2, 2018, Source: City of Elko New Market

### ELKO NEW MARKET EXISTING ZONING MAP

The Opportunity Site does not fall within the City of Elko New Market currently, but is within the City's annexation area. Until such time as the land is annexed, the County Land Use and Zoning designations prevail. The City of Elko New Market is designated as a Rural Center Planning Area in the Metropolitan Council's 2040 Regional Development Framework. The development framework will allow the city to grow and allocate development in the rural area. These plans are reflected in the Elko New Market Proposed Land Use Plan, and includes the Site.



2040 Undesignated MUSA Reserve Boundary. Source: Elko New Market Draft 2040 Comprehensive Plan, January 4, 2018 Planning Commission Meeting. Note: provided information is based on a draft portion of the Elko New Market 2040 Comprehensive Plan. Information is subject to change until document is formally published and released.

### UNDESIGNATED METROPOLITAN URBAN SERVICE AREAS (MUSA) RESERVE BOUNDARY

The Property falls within the Undesignated MUSA Reserve and as such, urban services will not be provided to the area until the land has been annexed by the City.

The MUSA Composite dataset depicts current and future boundaries of the Urban Service Areas (sewer service areas) based on communities' comprehensive plans for the seven-county metropolitan area of the Twin Cities of Minneapolis and Saint Paul. The dataset does not depict the precise location of current urban services (Sewer service). In other words, the Urban Service Areas designate areas that might be serviced, it does not represent the urban areas that are serviced.

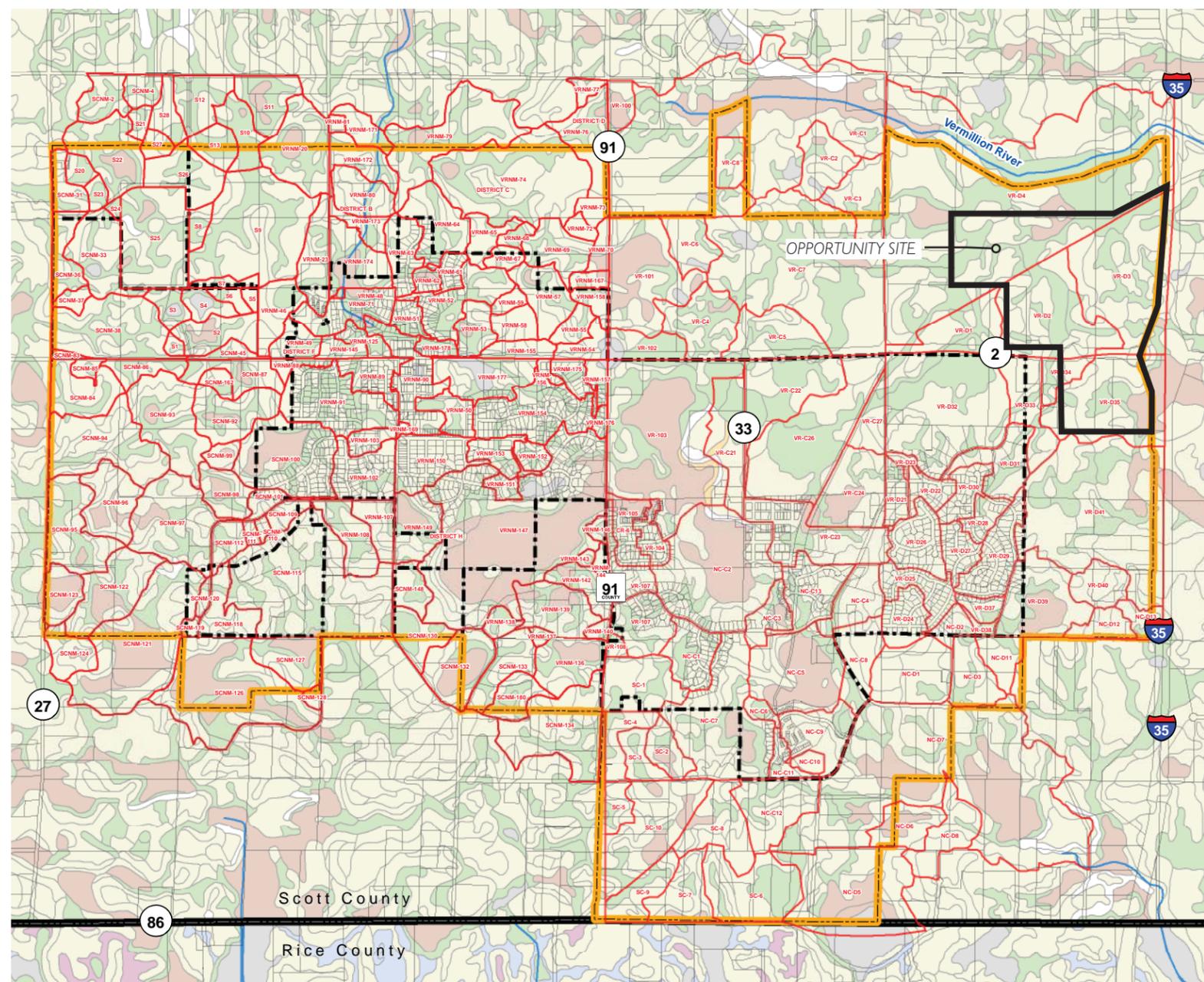
As of March 2011, a new designation area was created specifically to address the agreed upon development plan for southeastern Scott County between the county, the city of Elko New Market and the town of New Market: 'Undesignated MUSA Reserve.' Similar to 'Undesignated MUSA,' this is an area where an agreed upon acreage of urban sewer service can be added to the current MUSA by 2040 and as community's complete their 2018 Comprehensive Plans, Undesignated MUSA can represent areas to be added to the current MUSA by 2040. The distinction between 'Undesignated MUSA' and 'Undesignated MUSA Reserve' is that 'Undesignated MUSA' is an area within a municipal boundary defined by that municipality's comprehensive plan, whereas, 'Undesignated MUSA Reserve' is an area beyond the current municipal boundary (i.e., surrounding township) that is designated in a joint agreement by the city, town, and county to accommodate future municipal growth.

# ENVIRONMENTAL RESOURCES . SOILS

**INTRODUCTION** Scott County, like other portions of the metropolitan area, fall within three basic geologic units – glacial deposits, bedrock formed in shallow marine sediments deposited between 480 million and 950 million years ago, and bedrock of volcanic or metamorphic origin. Each contribute to the unique topography within the county and the Property.

## SCOTT COUNTY SOILS MAP / MUSA ENLARGEMENT AREA

The following map shows the Hydrological Soils within Scott County, and the 2030 Undesignated MUSA Reserve Boundary. The Property has a strong presence of B/D, B and a small amount of A/D Hydrological Soils. Hydrological soils are classified by the Natural Resource Conservation Service into four groups based on the soil's runoff potential. The four Hydrological Soils Groups are A, B, C, and D. Combined soil groups designate a blend of the soil group characteristics.



Group A is sand, loamy sand or sandy loam types of soils. It has low runoff potential and high infiltration rates even when thoroughly wetted. They consist chiefly of deep, well to excessively drained sands or gravels and have a high rate of water transmission.

Group B is silt loam or loam. It has a moderate infiltration rate when thoroughly wetted and consists chiefly or moderately deep to deep, moderately well to well drained soils with moderately fine to moderately coarse textures.

Group C soils are sandy clay loam. They have low infiltration rates when thoroughly wetted and consist chiefly of soils with a layer that impedes downward movement of water and soils with moderately fine to fine structure.

Group D soils are clay loam, silty clay loam, sandy clay, silty clay or clay. This HSG has the highest runoff potential. They have very low infiltration rates when thoroughly wetted and consist chiefly of clay soils with a high swelling potential, soils with a permanent high water table, soils with a claypan or clay layer at or near the surface and shallow soils over nearly impervious material.

### Legend

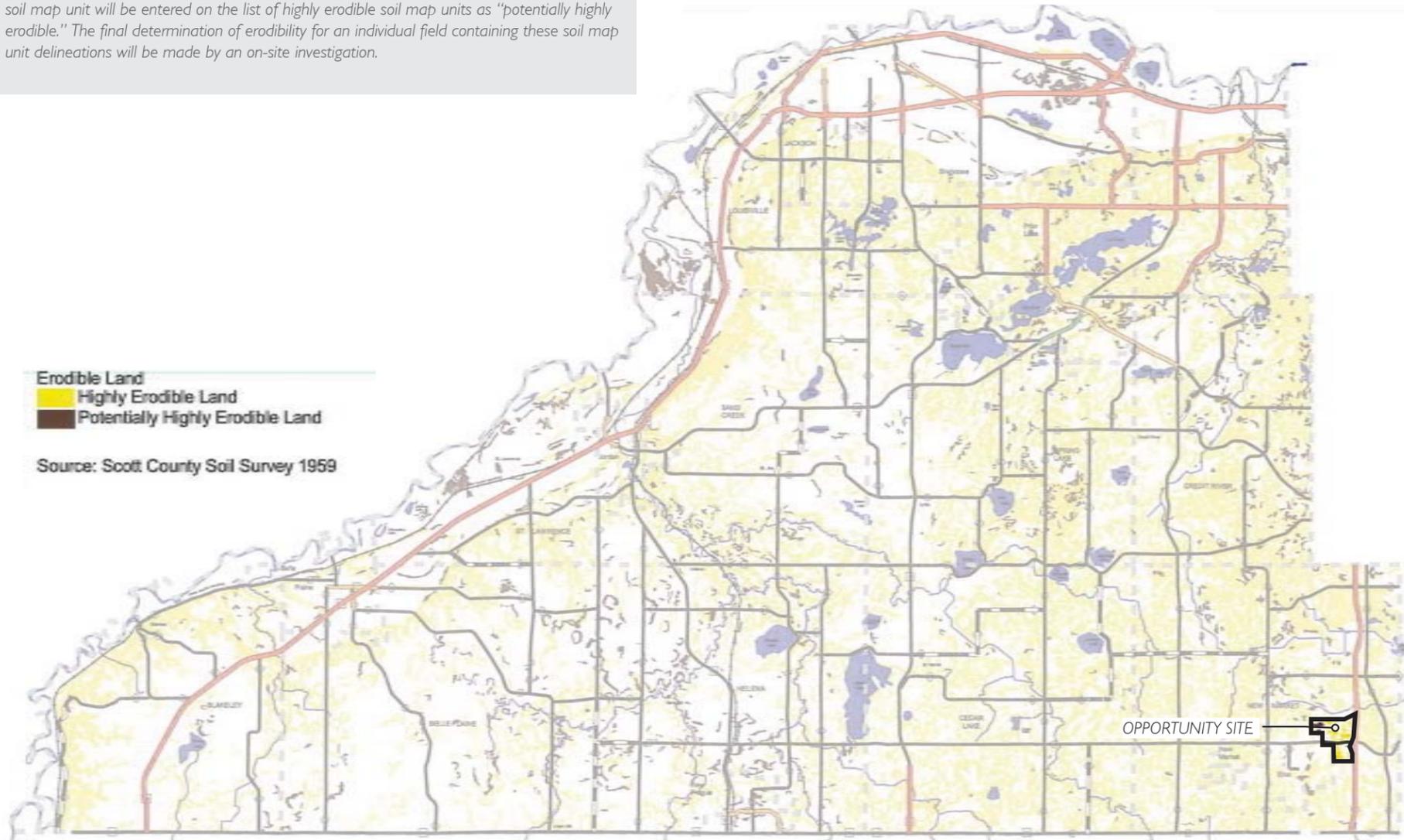
- Watersheds
- 2030 Undesignated MUSA Reserve Boundary
- Elko New Market City Limits
- County Boundary
- ~ Streams
- ⊕ Lakes
- Hydrologic Soils**
- No Data
- A
- A/D
- B
- B/D
- C
- C/D
- D

### SCOTT COUNTY HIGHLY ERODIBLE LAND

The following map indicates areas within Scott County that contain highly erodible land. Highly erodible land (HEL) is cropland, hayland, or pasture that can erode at, as defined by the Natural Resource Conservation Service (NRCS), excessive rates. This information is utilized by farmers that have fields on highly erodible land. If a producer has a field identified as highly erodible land, that producer is required to maintain a conservation system of practices that keep erosion rates at a substantial reduction of soil loss. Like the City of Elko New Market, the Property has a rich history of farming. The land/soil may have experienced erosion over time.

*Highly erodible land: A soil map with an erodibility of 8 or greater is highly erodible land (HEL)*

*Potentially highly erodible land: Whenever a soil map unit description contains a range of a slope length and steepness characteristics that produce quotients both above and below 8, the soil map unit will be entered on the list of highly erodible soil map units as "potentially highly erodible." The final determination of erodibility for an individual field containing these soil map unit delineations will be made by an on-site investigation.*



Elko New Market Comprehensive Surface Water Management Plan, Scott County Highly Erodible Land, Source: 2030 City of Elko New Market 2030 Storm Water Management Plan, Appendix E 2008 Elko New Market Comprehensive Plan

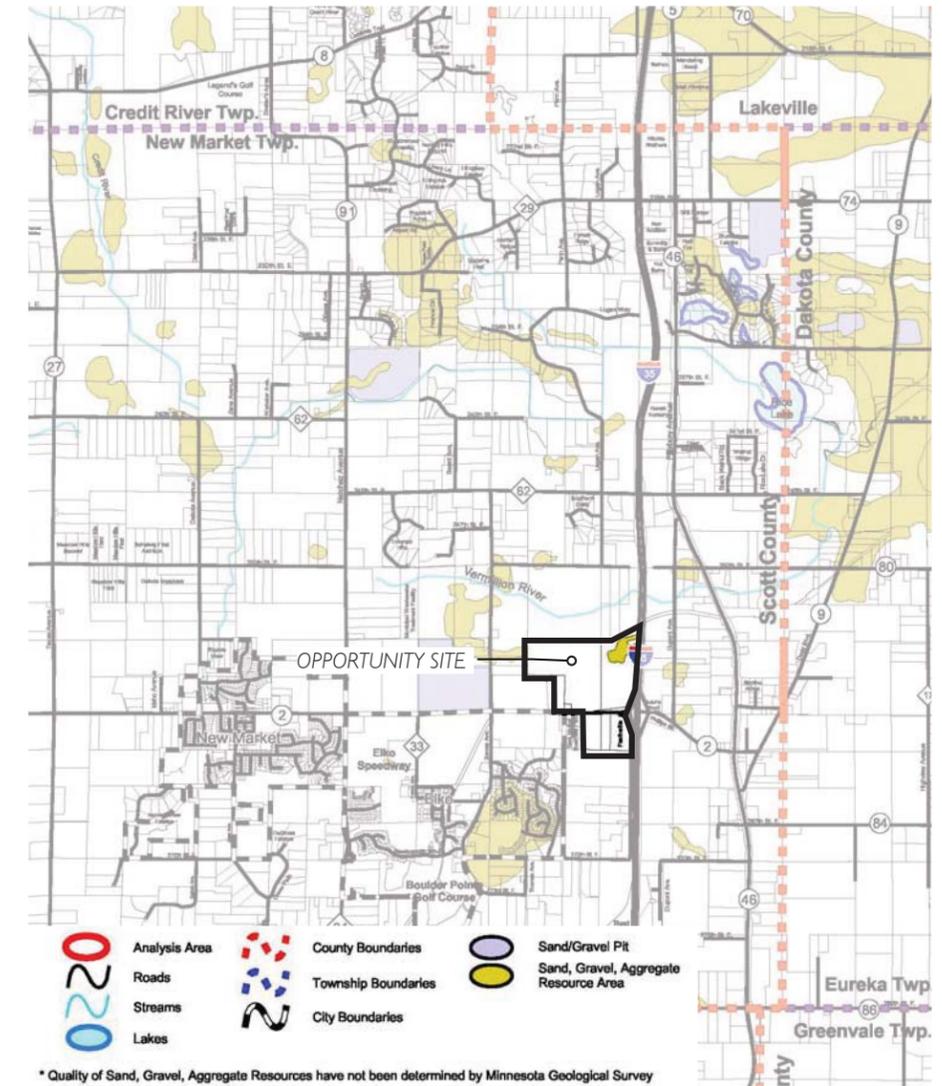
### AGGREGATE RESOURCES

The following indicates locations of aggregate resources found within the project property. Aggregate (sand, gravel, and crushed rock) has been identified as a resource vital to the area. This is because regional transportation systems and the building industry need large volumes of aggregate for construction and maintenance. Despite the importance of the resource, the Metropolitan Area is losing access to its aggregate resources and rapidly depleting the supply.

Based on the mandate of State Statute 473.859, the City of Elko New Market derived the following goal to address the removal of aggregate within the City:

- Preserve And Protect Non-Metallic Mineral Deposits – Identify significant deposits of non-metallic minerals (sand, gravel, and aggregate), and where appropriate, consider preservation and protection for future access and resource based activities that provide for a diverse, regional, and sustainable economy and environment.

The City of Elko New Market acknowledges that inherent conflicts may occur between the need for extracting this aggregate resource, the rights of private property owners to develop their land, and the need for the orderly extension of public utilities.



Aggregate Resources Map, Source: SE Scott County Comprehensive Plan Update, 2008 Elko New Market Comprehensive Plan

### SCOTT COUNTY BEDROCK FORMATIONS

Below Scott County glacial deposits lies a series of layered sedimentary rocks. The youngest layers are on top and the oldest at the bottom. Beneath the sedimentary rock is volcanic (igneous) rock. Below, Scott County as identified the Property's bedrock type as Prairie du Chien. The bedrock is comprised of dolomite with some sandstone and shale. The Prairie du Chien bedrock was formed of carbonate deposits and was later impacted by the shallow sea retreating. This now leaves the Prairie du Chien bedrock with a major erosional surface and varying thicknesses.

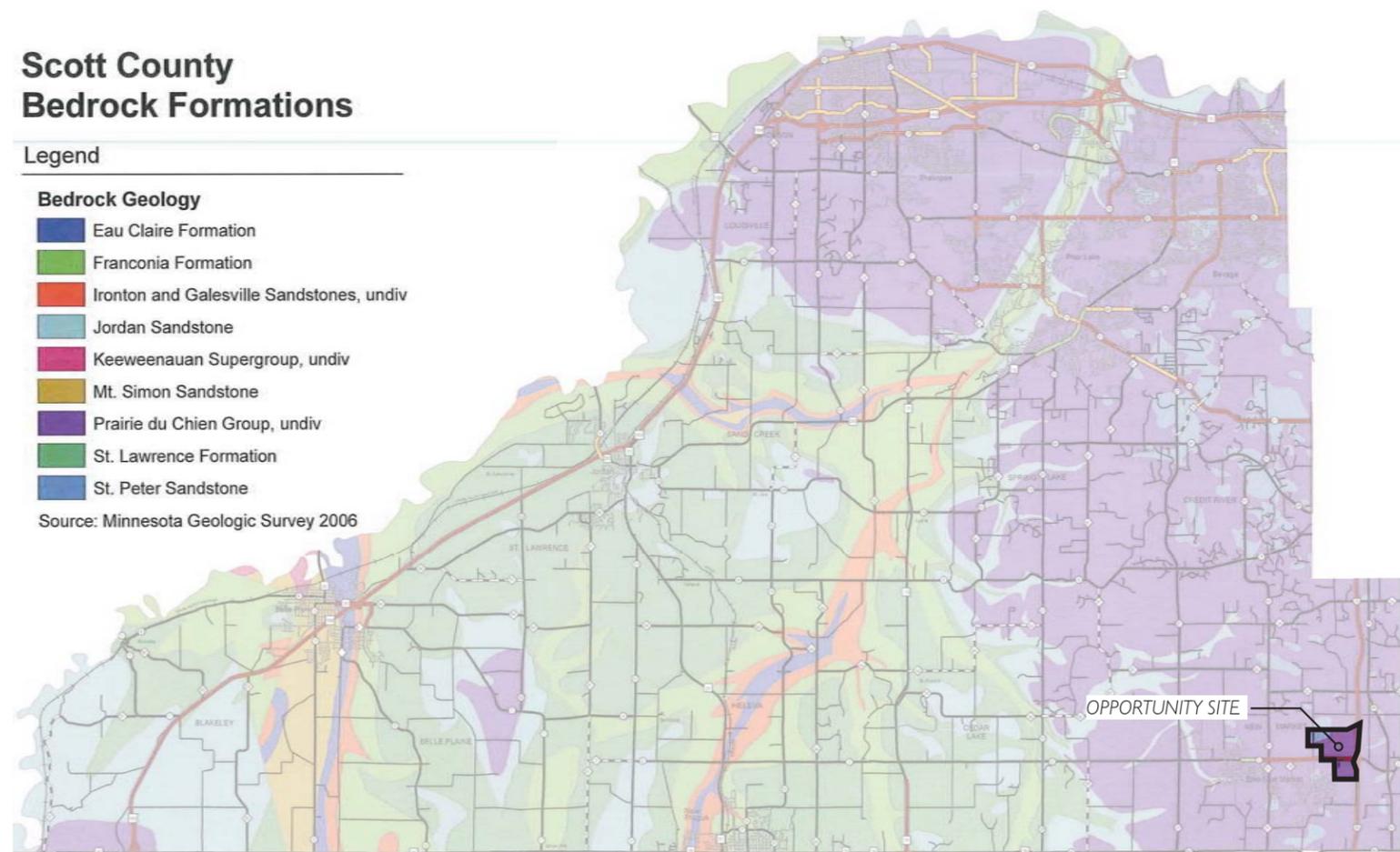
### Scott County Bedrock Formations

Legend

Bedrock Geology

- Eau Claire Formation
- Franconia Formation
- Ironton and Galesville Sandstones, undiv
- Jordan Sandstone
- Keeweenauan Supergroup, undiv
- Mt. Simon Sandstone
- Prairie du Chien Group, undiv
- St. Lawrence Formation
- St. Peter Sandstone

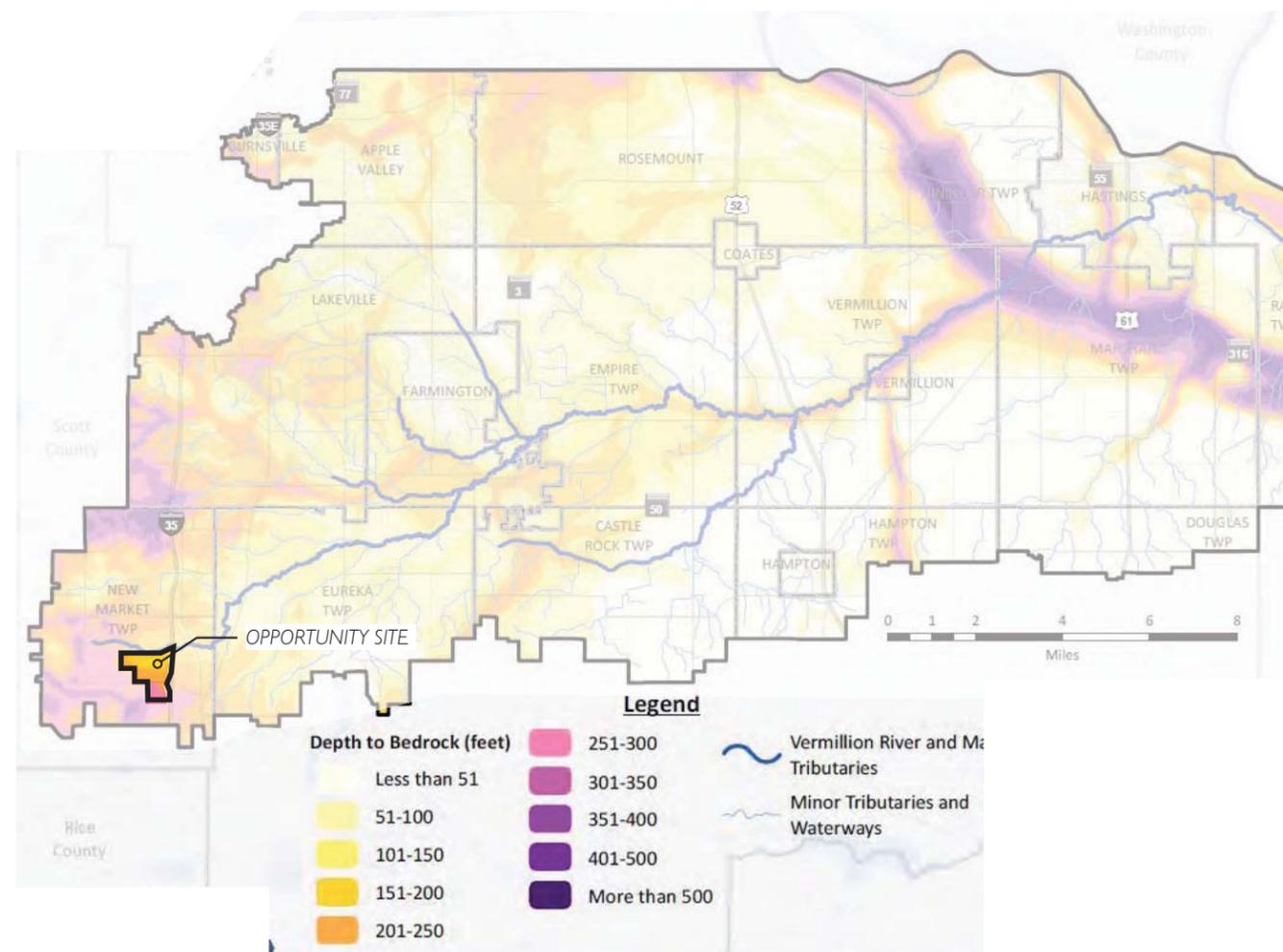
Source: Minnesota Geologic Survey 2006



Elko New Market Comprehensive Surface Water Management Plan, Scott County Highly Erodible Land, Source: 2030 City of Elko New Market 2030 Storm Water Management Plan, Appendix E. 2008 Elko New Market Comprehensive Plan

### VERMILLION RIVER WATERSHED DEPTH TO BEDROCK

The following describes the depth to bedrock for the Property, which is within the range of 101-150 feet.



Vermillion River Watershed Depth to Bedrock, Source: Comprehensive Water Resource Management Plan 2009-2018, Scott County Watershed Management Organization

## ENVIRONMENTAL RESOURCES . WATER

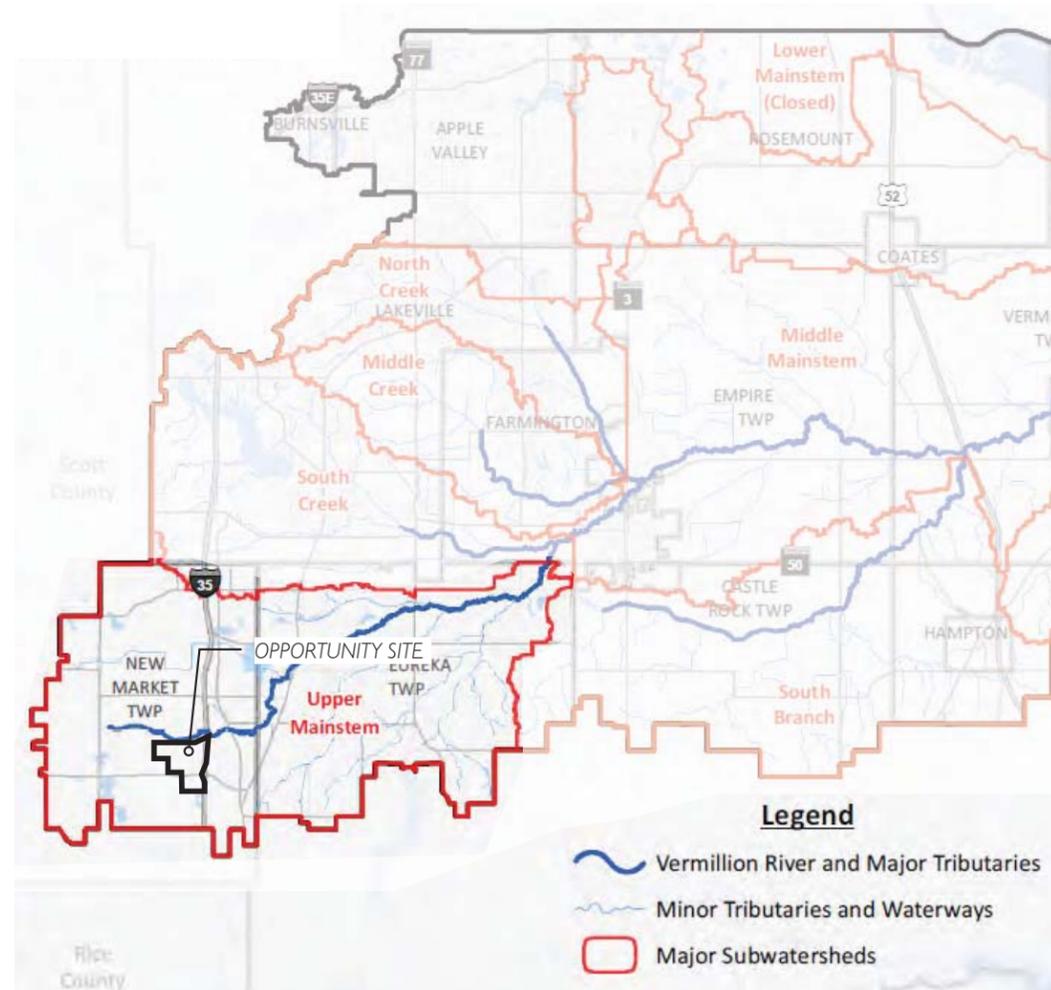
**INTRODUCTION** The Property falls within the Vermillion River's Watershed which includes the main stream of the Vermillion River; four major tributaries, many unnamed streams, and several lakes. The main stream of the Vermillion River runs directly north of The Property. The Property falls within the Scott County Watershed jurisdiction and as such will need to meet their development criteria for permitting.

### SCOTT COUNTY WATERSHED JURISDICTION

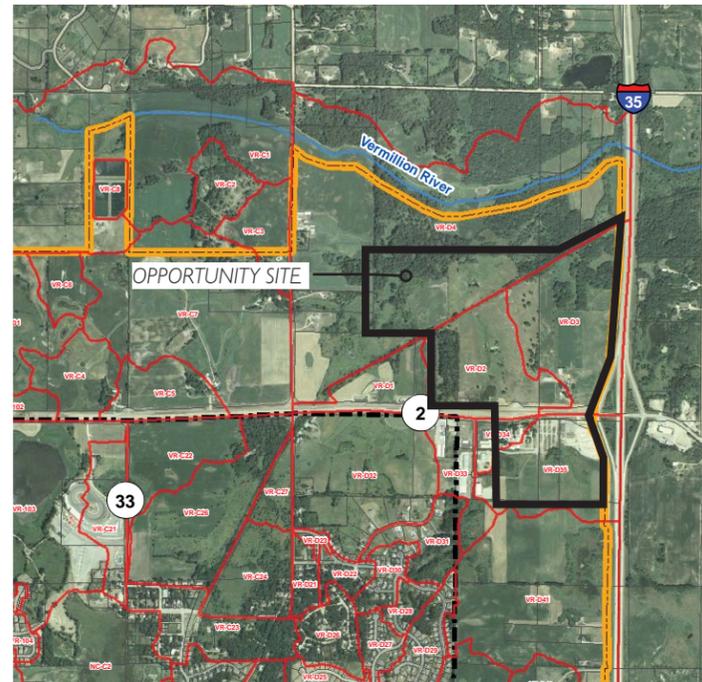
The Property falls under the Scott County Vermillion Joint Powers Organization (VRMJO). VRMJO is governed by the Vermillion River Watershed Joint Powers Board (VRWJPB).

### VERMILLION RIVER'S MAJOR SUBWATERSHEDS

Large watersheds, like the Vermillion River Watershed, can have identified subwatersheds that indicate drainage patterns into a larger body of water. The Property belongs to the Upper Mainstem subwatershed of the Vermillion River as shown in the following map.



Vermillion River's Major Subwatersheds, Source: Vermillion Watershed Comprehensive Water Resource Management Plan 2009-2018, Scott County Watershed Management Organization



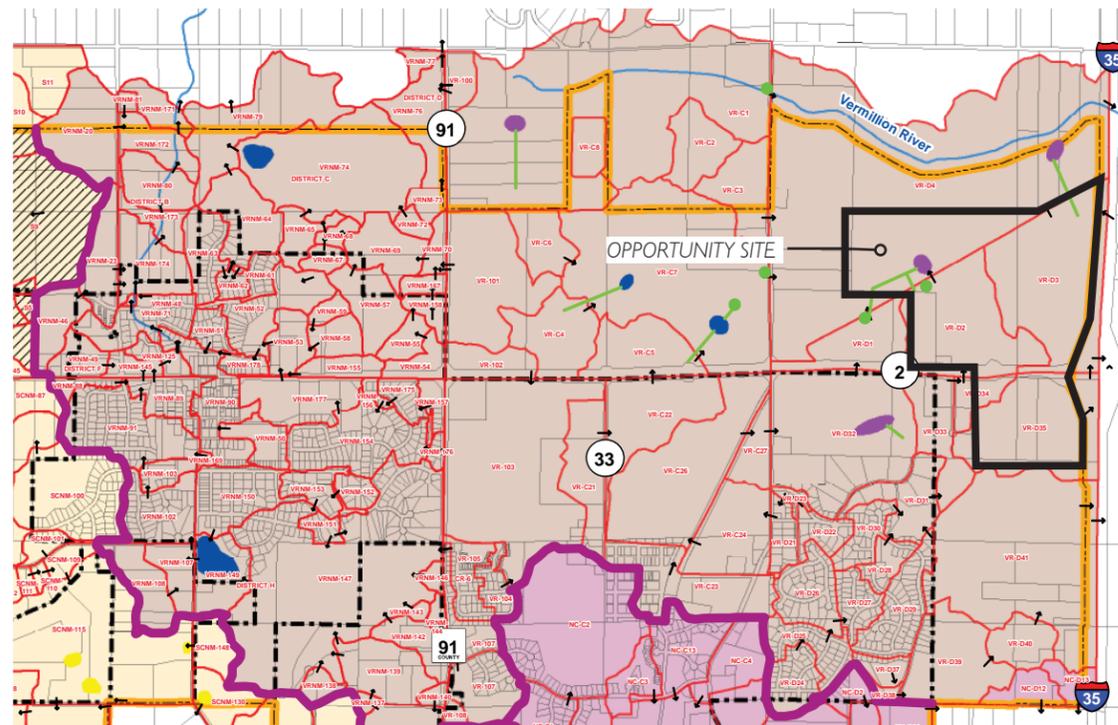
Elko New Market Watershed 2006 Aerial Photo, Source: 2030 City of Elko New Market 2030 Storm Water Management Plan, Appendix E 2008 Elko New Market Comprehensive Plan

### ELKO NEW MARKET WATERSHED 2006 AERIAL PHOTO

The map below provides the boundary lines of the subwatersheds within The Property. Each with their own drainage patterns, which can be seen on the Elko New Market Watershed Drainage District Map.

#### Legend

- Watersheds
- 2030 Undesignated MUSA Reserve Boundary
- Elko New Market City Limits
- County Boundary
- ~ Streams
- ☪ Lakes



Elko New Market Watershed Drainage District Map, Source: 2030 City of Elko New Market 2030 Storm Water Management Plan, Appendix E 2008 Elko New Market Comprehensive Plan.

### ELKO NEW MARKET WATERSHED DRAINAGE DISTRICT MAP

The Property drains northwest towards the Vermillion River, while the southern section of The Property drains to be northeast. The map also indicated proposed regional NURP locations.

NURP: Nationwide Urban Runoff Plan is a research project conducted by the United States Environmental Protection Agency (EPA) between 1979 and 1989. It was the first comprehensive study of urban stormwater pollution across the United States. NURP ponds refer to retention basins that capture sediment from stormwater runoff as it is detained.

#### Legend

##### Watershed Districts

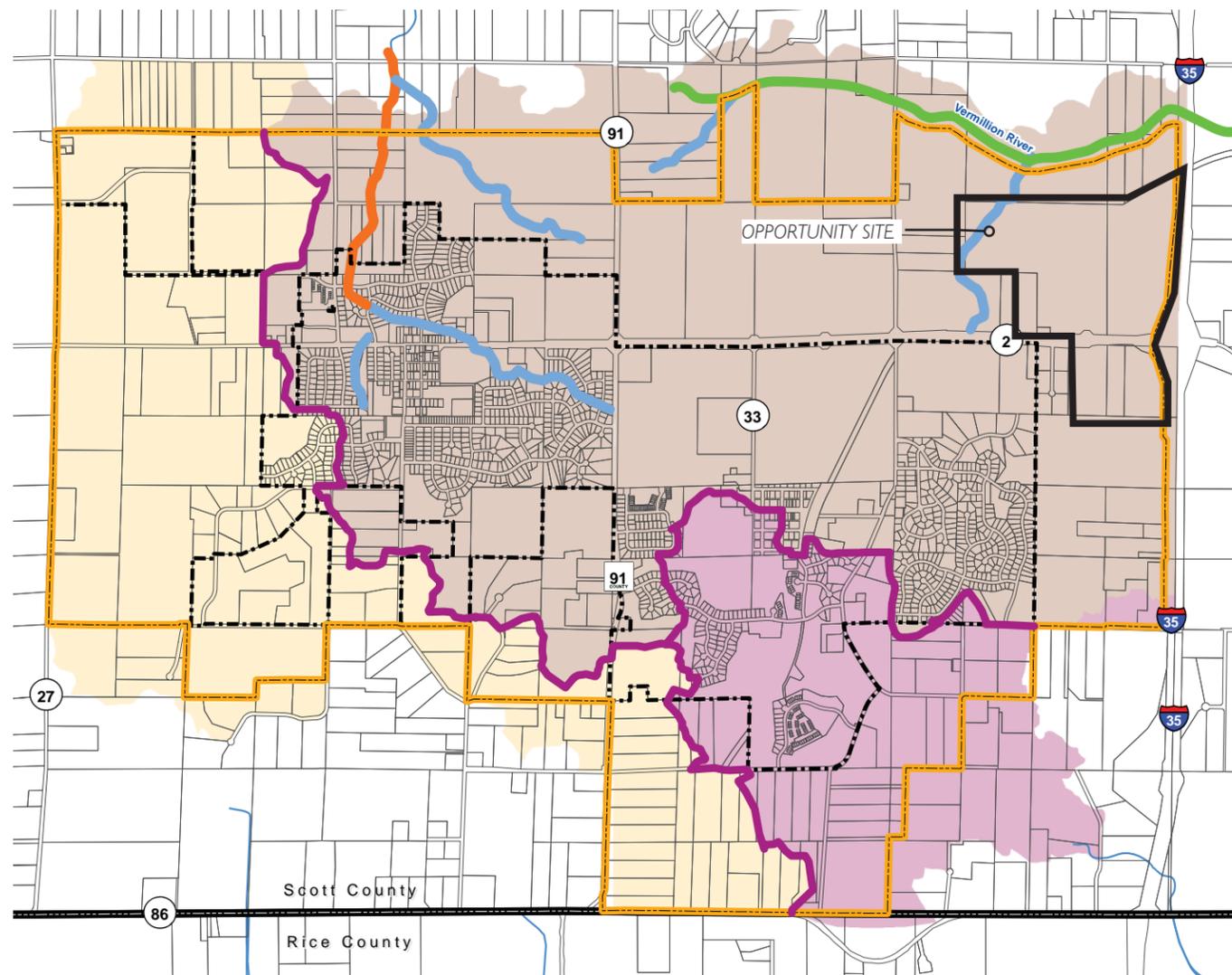
- Vermillion River
- North Cannon
- Sand Creek
- Major Watershed Boundary
- Watersheds
- Section 20 With Flow Restrictions (See App.B)
- Drainage Flow Arrows
- ☪ Proposed Regional Ponds
- ☪ Proposed Development Ponds
- ☪ Proposed Regional Nurb
- 2030 Undesignated MUSA Reserve Boundary
- Elko New Market City Limits
- County Boundary
- ~ Streams
- ☪ Lakes

### WATERWAY CORRIDOR CLASSIFICATION MAP

The map indicates a Water Quality Corridor from the Vermillion River is located in the northwest corner of The Property. A required buffer shall be protected as outlots or with conservation easements as indicated by the water quality policy 2.13 and is address in the City of Elko New Market Environmental Protection Ordinance.

It should be noted that the waterway is not a Protected Waters Inventory (PWI), as seen in the following map, thus being placed under the jurisdiction of VRWJPO. Under VRWJPO buffer width standards for waterway corridors, the buffer width is an average of 30-feet, minimum of 20-feet where there is a flow path for concentrated surface runoff measured from the centerline of the flow path per section 6.3 Buffer Standards (Standards for VMWJPO).

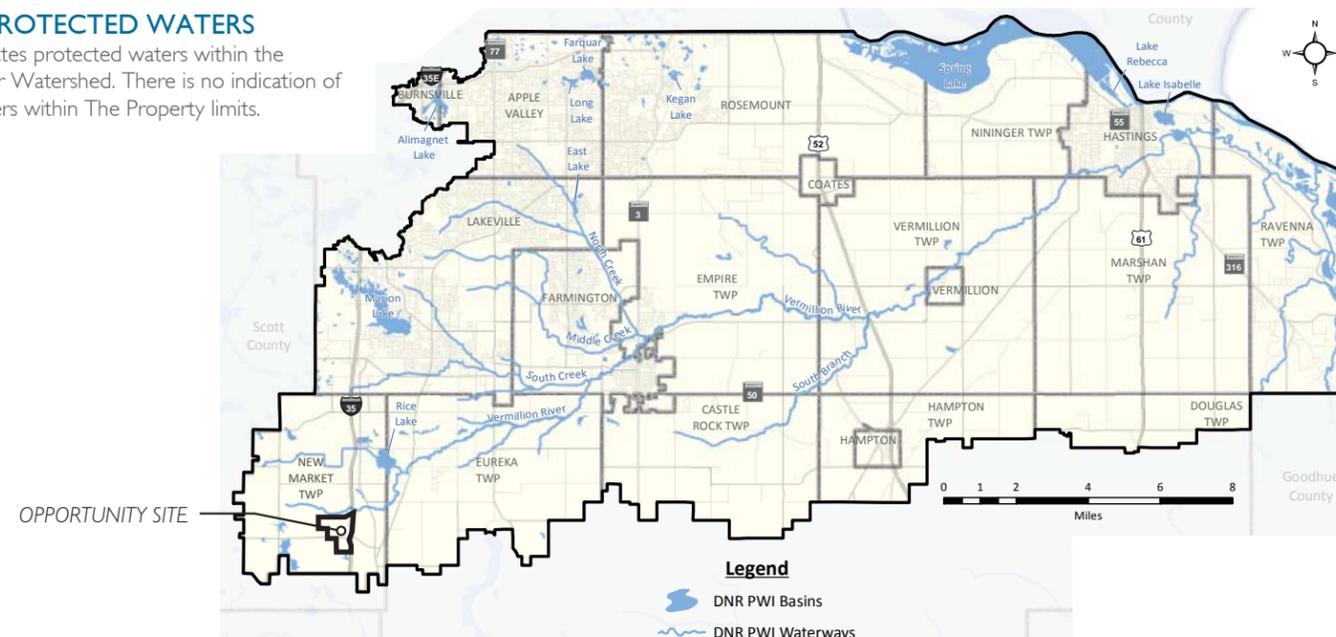
- Legend**
- Stream Classification**
    - Conservation Corridors
      - Upper Reach - 150' Buffer Width
    - Aquatic Corridors
      - Tributary Connector - 50' Buffer Width
    - Water Quality Corridors
      - 20' Buffer Width
  - Watershed Districts**
    - Vermillion River
    - North Cannon
    - Sand Creek
    - Major Watershed Boundary
    - 2030 Undesignated MUSA Reserve Boundary
  - Elko New Market City Limits
  - County Boundary
  - Streams
  - Lakes



Elko New Market Comprehensive Surface Water Management Plan, Waterway Corridor Classification Map, Source: 2030 City of Elko New Market 2030 Storm Water Management Plan, Appendix E. 2008 Elko New Market Comprehensive Plan

### MN DNR PROTECTED WATERS

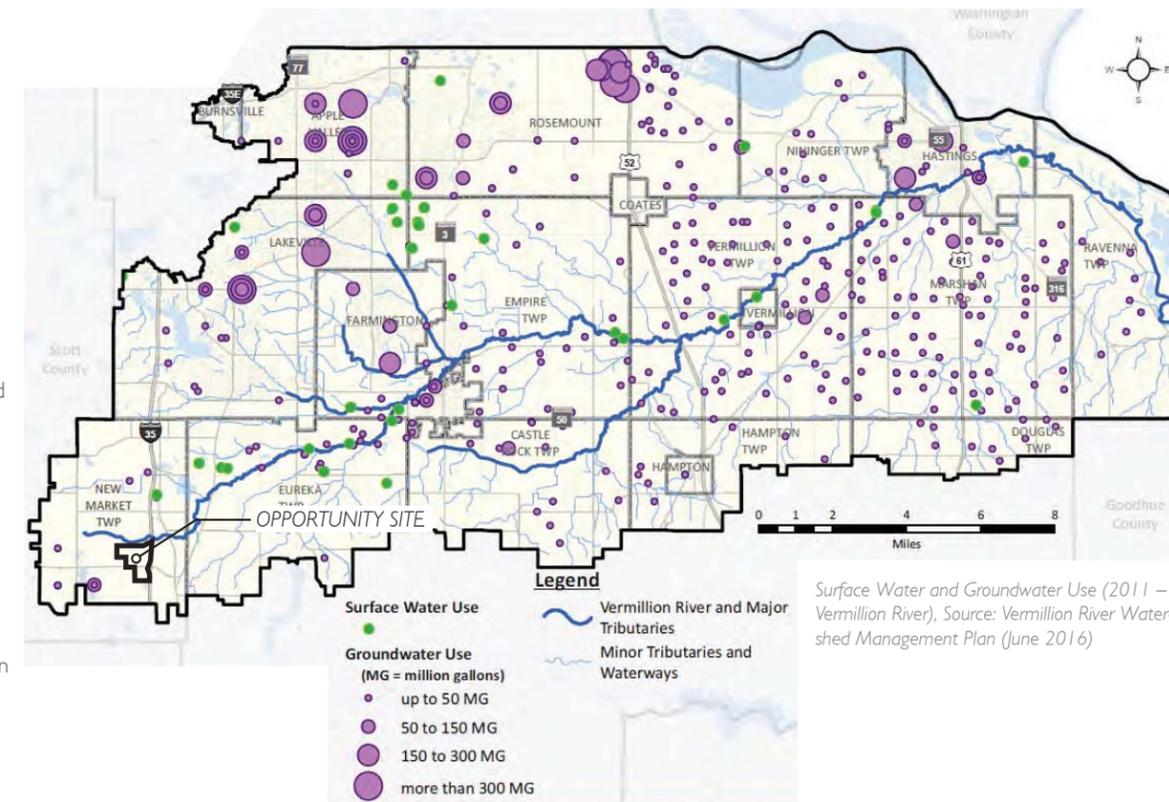
The map indicates protected waters within the Vermillion River Watershed. There is no indication of protected waters within The Property limits.



MN DNR Protected Waters (2011 Vermillion River), Source: Vermillion River Watershed Management Plan (June 2016)

### VERMILLION RIVER SURFACE WATER AND GROUNDWATER USE

The Vermillion River Watershed Joint Powers Organization (VRWJPO) is a watershed management organization as defined in the Metropolitan Surface Water Management Act (Minn. Statutes Chapter 103B). This Act provides the VRWJPO with the power to accomplish its statutory purpose—to protect, preserve, and manage surface and groundwater systems within the Vermillion River Watershed. The map displays that there is not a significant amount of surface or groundwater use within the City extent. The City of Elko New Market current water system is comprised of 4 wells, 2 elevated water reservoirs, and 2 water treatment facilities which pump an average daily amount of 300,000 gallons.



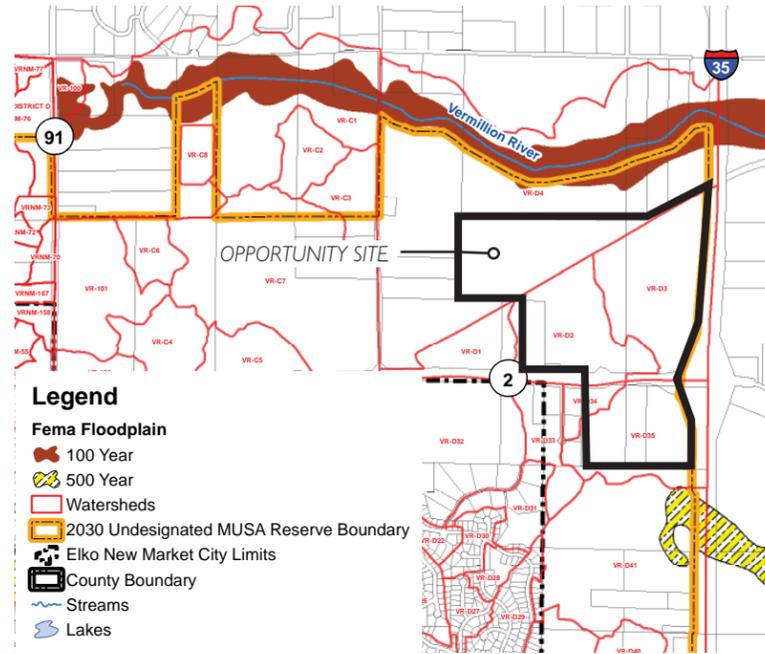
Surface Water and Groundwater Use (2011 - Vermillion River), Source: Vermillion River Watershed Management Plan (June 2016)

*Surface Water:* water in the nation's rivers, streams, creeks, lakes, and reservoirs. The main uses of surface water includes drinking water and other public uses, irrigation uses, and by the thermoelectric-power industry to cool electricity-generating equipment.

*Groundwater:* water present beneath Earth's surface in soil pore spaces and in the fractures of rock formations primarily used for irrigation purposes. A unit of rock or unconsolidated deposit is called an aquifer when it can yield a usable quantity of water. Local city and county water departments withdraw groundwater for public uses, such as delivery to homes, businesses, and industries, as well as for community firefighting.

### FEMA FLOODPLAIN MAP

The map displays that The Property is not located within a FEMA floodplain. The closest floodplain is to the north, where the Vermillion River is indicated as a 100 year FEMA floodplain.



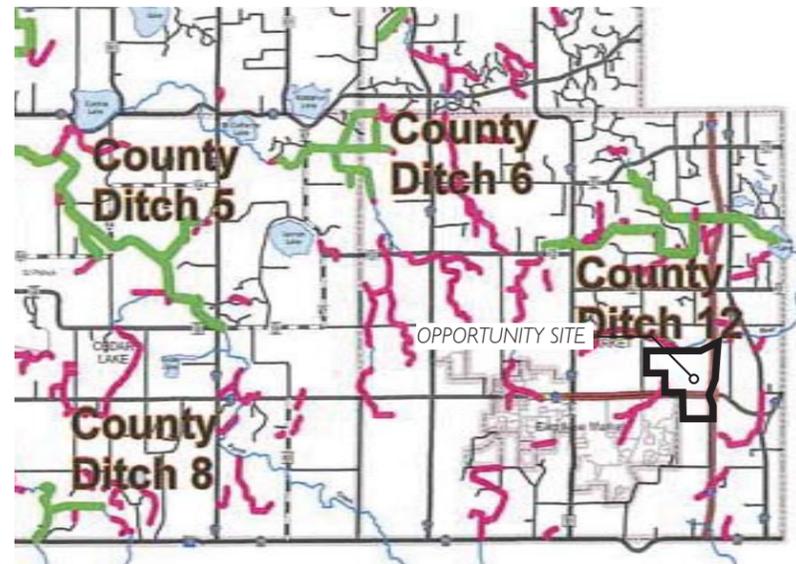
**100 Year Floodplain:** an area that will be inundated by a flood event having a 1-percent chance of being equaled or exceeded in any given year. The 1-percent annual chance flood is also referred to as the base flood or 100-year flood.

**500 Year Floodplain:** areas area that will be inundated by a flood event having a 0.2- percent chance of being equaled or exceeding in any given year. The 0.2-percent annual chance flood is also referred to as the 500-year flood.

Elko New Market Comprehensive Surface Water Management Plan, FEMA Floodplain Map, Source: 2030 City of Elko New Market 2030 Storm Water Management Plan, Appendix E 2008 Elko New Market Comprehensive Plan

### SCOTT COUNTY DITCHES

The map displays that there is no private or county ditches within The Property limits. The map does indicate private ditches located to the north and south of the northern section of The Property.



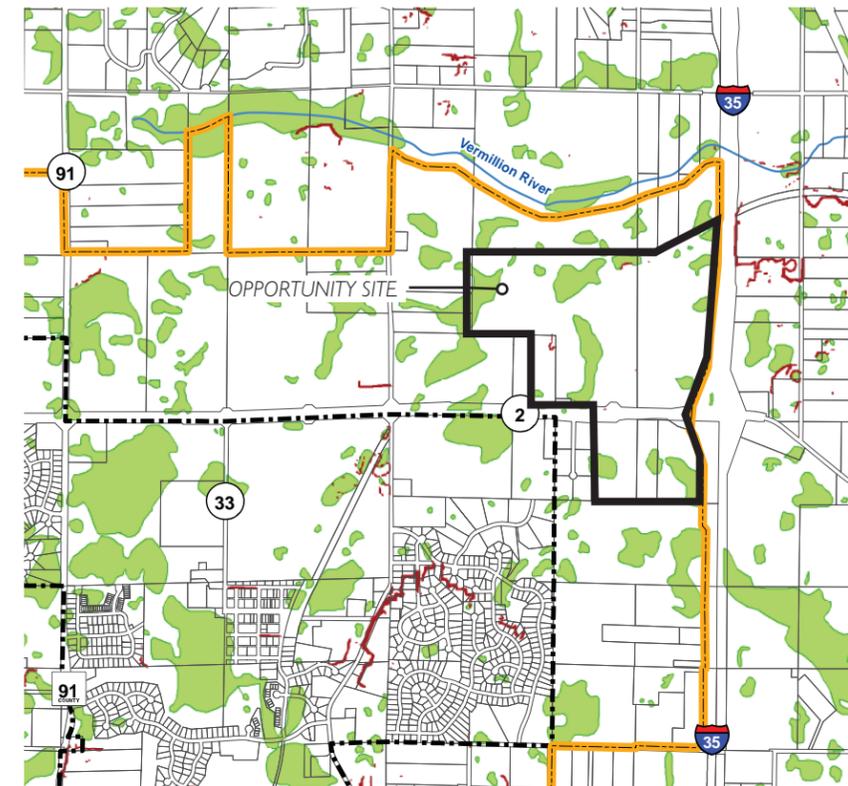
**Ditch Inventory**  
 County Ditch  
 Private Ditch

Source: Scott County GIS Department 2008

Scott County Ditches, Source: Scott County Comprehensive Water Resource Management Plan 2009-2018.

### SCOTT COUNTY WETLAND & BLUFF AREAS MAP

The Property has wetlands and few bluffs as defined by Scott County.



Elko New Market Comprehensive Surface Water Management Plan, Scott County Wetland & Bluff Areas Map, Source: 2030 City of Elko New Market 2030 Storm Water Management Plan, Appendix E 2008 Elko New Market Comprehensive Plan

**Wetland:** Lands transitional between terrestrial and aquatic systems where the water table is usually at or near the surface or the land is covered by shallow water. For purposes of this definition, wetlands must have the following three attributes:

- Have a predominance of hydric soils
- Are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions
- Under normal circumstances support a prevalence of such vegetation

**Bluff:** A topographic feature such as a hill, cliff, or embankment having the following characteristics (an area with an average slope of less than 18-percent over a distance for 50-feet or more shall not be considered:

- The slope rises at least 25-ft
- The grade of the slope from the toe of the bluff to the top of the bluff averages 30-percent or greater.

### Legend

- Scott County Wetlands
- Scott County Bluffs (Per Ordinance)
- 2030 Undesignated MUSA Reserve Boundary
- Elko New Market City Limits
- County Boundary
- Streams
- Lakes

### NATIONAL WETLAND INVENTORY AND ISG FIELD REVIEW

Due to the dominant land form of “dead ice moraine”, which refers to the remnants of the last of the glacier as it retreated The Property includes a series of connected and isolated wetlands with few organized streams. The Property has large wetlands located on both the north and south sides of County State Aid Highway 2. The map shows the National Wetlands Inventory (NWI) with ISG’s field review of the wetlands on The Property. The NWI source map is based on 2010-2011 aerial photography and the time period for content is from March 20th, 2017. ISG field review was conducted on June 20th, 2017.

The US Fish and Wildlife Service (FWS) is the principal US Federal agency tasked with providing information to the public on the status and trends of our Nation’s wetlands. The US FWS National Wetland Inventory (NWI) is a publically available resource that provides detailed information on the abundance, characteristics, and distribution of US wetlands. Wetland classification were determined from the NWI Wetlands and Deepwater Map Code System (Cowardin Classification). The NWI indicated wetlands that belonged to the Palustrine System, Emergent or Forested Classification, and belong to the Persistent Subclass.

*Palustrine System (P): includes all nontidal wetlands dominated by trees, shrubs, persistent emergent, emergent mosses or lichens, and all such wetlands that occur in tidal areas where salinity due to ocean-derived salts is below 0.5-percent. It also includes wetlands lacking such vegetation, but with all of the following four characteristics:*

- Area less than 8 ha (20 acres)
- Active wave-formed or bedrock shoreline features lacking
- Water depth in the deepest part of basin less than 2 m at low water
- Salinity due to ocean-derived salts less than 0.5-percent

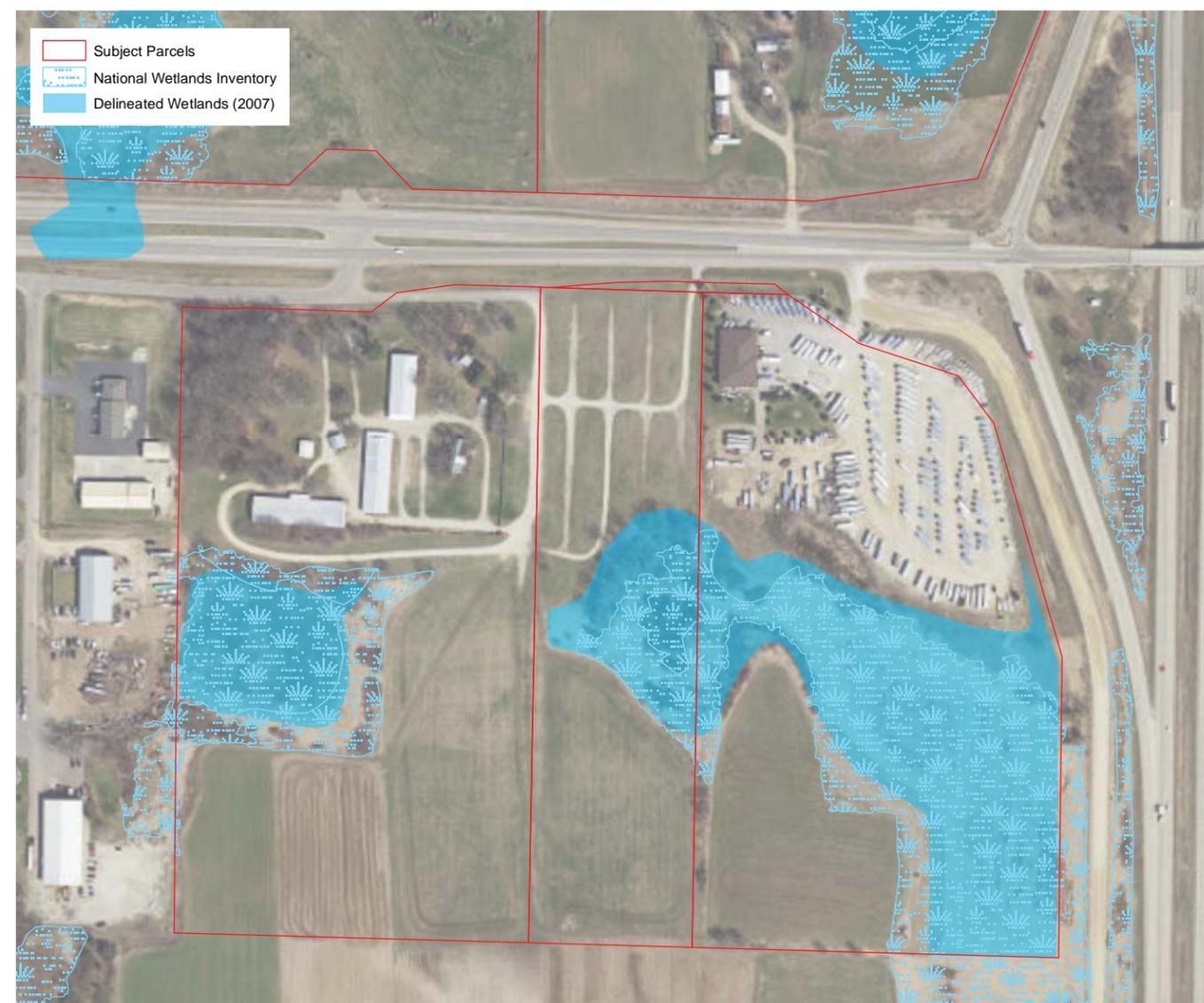
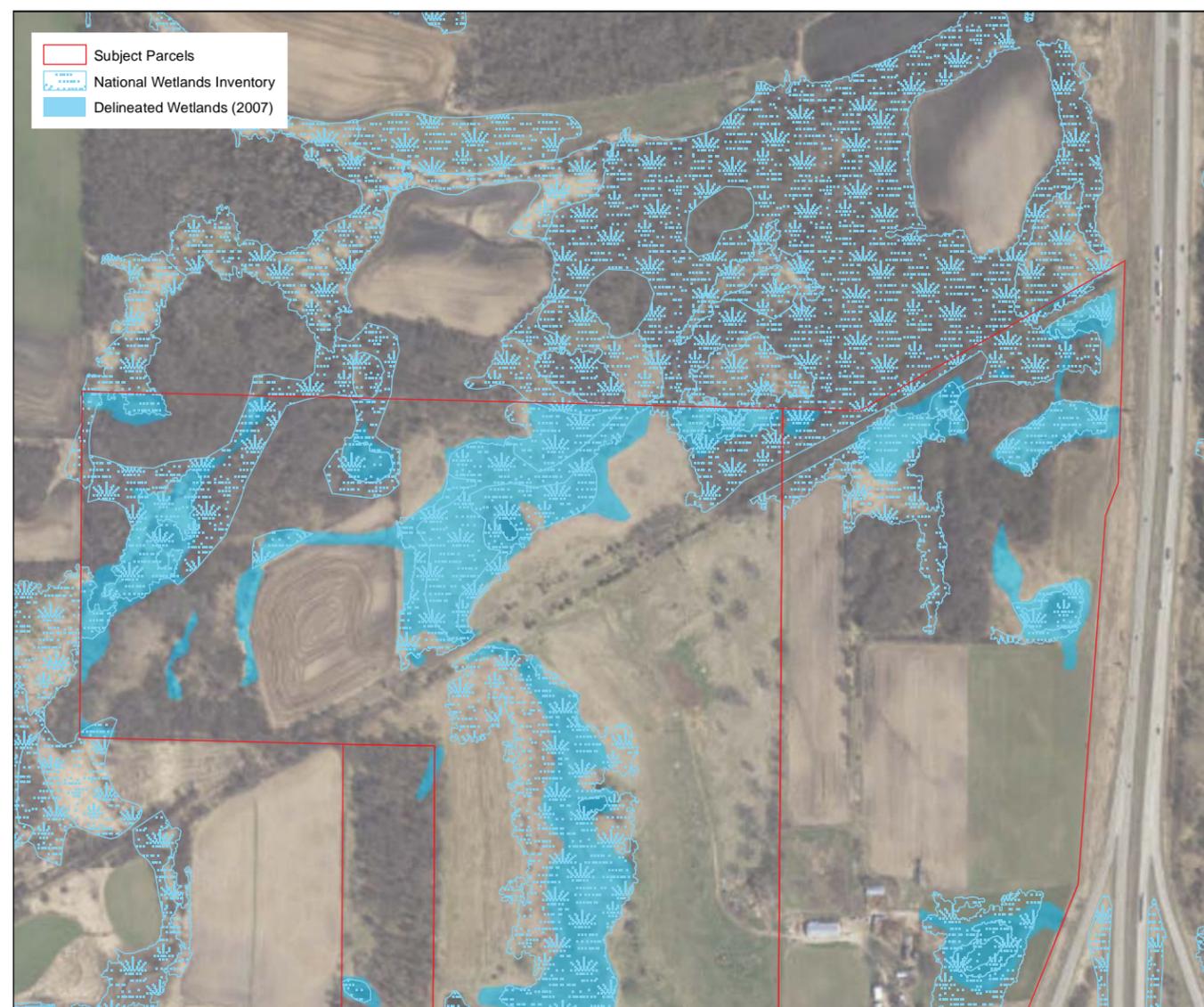
*Emergent (EM): Wetland characterized by rooted herbaceous and grass like plants which stand erect above the water or ground surface (excluding mosses or lichens). Vegetation is present for most of the growing season in most years. Emergent wetlands include marshes, meadows, and fens.*

*Emergent (EM): Wetland characterized by rooted herbaceous and grass like plants which stand erect above the water or ground surface (excluding mosses or lichens). Vegetation is present for most of the growing season in most years. Emergent wetlands include marshes, meadows, and fens.*

*Forested (FQ): Wetland dominated by woody vegetation 20 feet or taller. Forested wetlands, e.g. forested swamps, generally include an overstory of trees, an understory of young trees and shrubs, and a herbaceous layer.*

*Persistent (I): Plant species that normally remain standing until the beginning of the next growing season in most years, e.g. cattails, bulrushes, reeds.*

Definitions from Classification of Wetlands and Deepwater Habitats of the United States Appendix F – The Cowardin System of Wetland Classification (1979) and the National Wetlands Inventory (NWI)



# ENVIRONMENTAL RESOURCES . VEGETATION

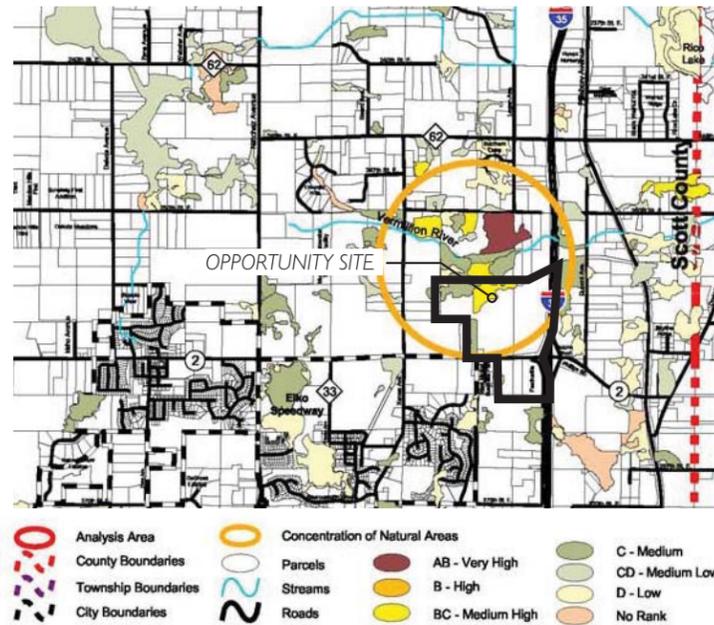
**INTRODUCTION** Elko New Market is home to headwaters of four watersheds, the Vermillion River, Credit River, Sand Creek, and a portion of the North Cannon River. The Property lies within the Vermillion River Watershed which encompasses a community of high quality oak forest, oak woodland, and several types of wetland communities. The Natural Resources and vegetation of the Vermillion River Watershed directly impart of The Property providing an abundance of natural resources and history to the land.

## NATURAL RESOURCE INVENTORY QUALITY RANKINGS + SIGNIFICANT CONCENTRATIONS

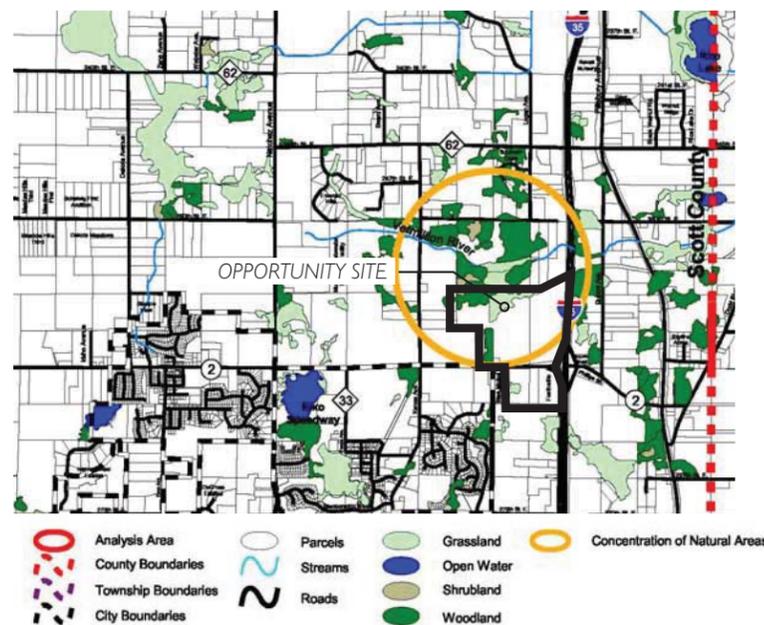
Elko New Market identified three level of priority of natural areas for protection and management within the Township. The Property has four zones of natural resources, three listed at a medium level of priority and one at a medium high level of priority. The two medium level of priority located to the north of County Road 2 are both woodland areas. The remaining two areas, one medium high priority to the north of County Road 2 and one medium are both grassland areas. All of the identified areas contribute to the complex community of the Vermillion River.

Elko New Market belongs to the Big Wood Subsection of the U.S. Forest Service's Ecological Classification System. The subsection coincides with a large block of deciduous forest that was present at the time of Euro-American settlement. Topography is gently to moderately rolling. Soils are formed in thick deposits of gray limy glacial till left by the Des Moines lobe. Northern red oak, sugar maple, basswood, and American elm were most common in this dominantly forested region. More than 75 percent of the subsection is currently cropland, with an additional 5 to 10 percent pasture. The remaining 10 to 15 percent is either upland forest or wetland. Big Woods habitats feature woodland birds, such as red-shouldered hawks and warblers, savanna species such as Blanding's turtles and redheaded woodpeckers, and wetland species such as turtles, ospreys, Forster's terns, and black terns.

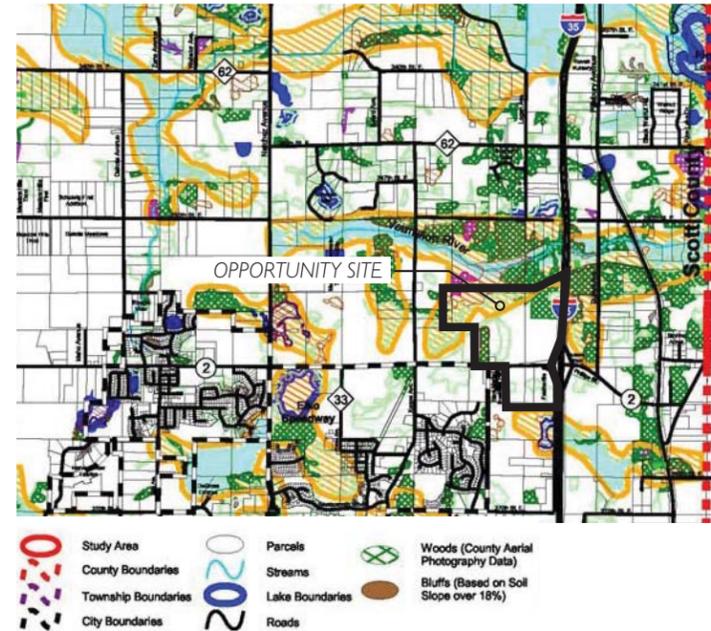
Definition from Vermillion River Watershed Management Plan



Natural Resource Inventory Quality Rankings, Source: Elko New Market Comprehensive Plan 2008



Significant Concentrations of Natural Resources, Sources: Elko New Market Comprehensive Plan 2008



Natural Resource Corridors, SE Scott County Comprehensive Plan Update, Source: Elko New Market Comprehensive Plan 2008

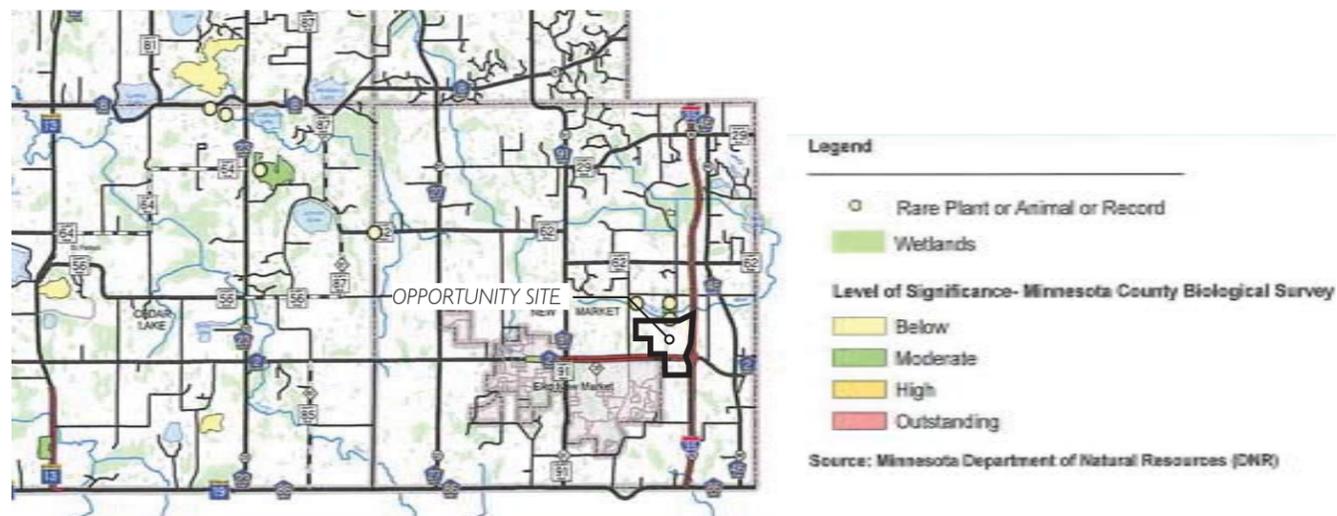
## NATURAL RESOURCE CORRIDORS

The Property lies within the Vermillion River natural resource corridor as seen in the map below. When a property within a mapped corridor is proposed for development, the County must evaluate the proposal alongside the following statements and make decisions related to implementing corridor purposes to shape the pattern of development desired:

- Determine if the property (or portion of the property) proposed for development is within or adjacent to a Natural Area Corridor
- Identify what types of resources are present within the corridor (e.g. wetland, woodland)
- Identify the purpose of the corridor (as outlined above)
- Determine whether preservation of the resource(s) within the corridor is appropriate
- Determine what levels of resource protection already exist for the area in question (for example: if the area is a wetland in a corridor, then there is already some existing protection through the State of Minnesota Wetland Conservation Act)
- Based on purpose, determine the appropriate implementation method(s) or options

### SCOTT COUNTY RARE FEATURES AND BIOLOGICAL SIGNIFICANCE AREAS

The county map depicts areas of rare features and biological significance. This could include rare plants, rare animals, native plant communities, geologic features, or animal aggregations. There are three areas adjacent to The Property to be evaluated.

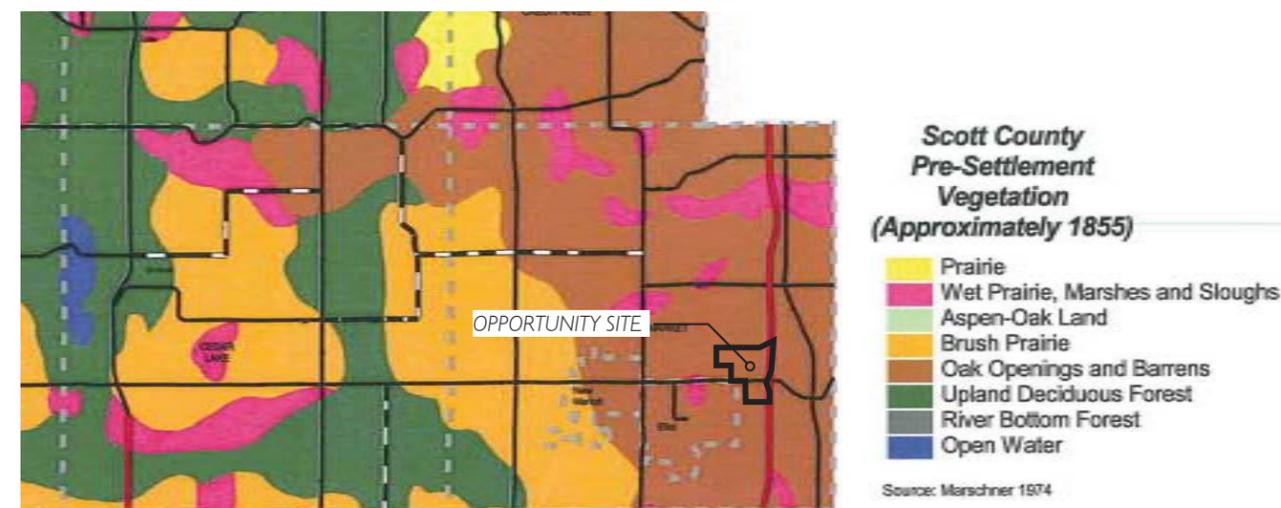


Scott County Rare Features and Biological Significance Areas, Sources: Scott County Comprehensive Water Resource Management Plan 2009-2018

### SCOTT COUNTY PRE-SETTLEMENT VEGETATION

Pre-settlement Minnesota contained an array of ecosystems and supported over 2,500 species of plants and animals. The diversity developed Minnesota into three biomes. Today, after more than a century of European settlement, nearly all the biotic communities have been altered. The Property, according to Marschner 1974, pre-settlement vegetation is Oak Openings and Barrens.

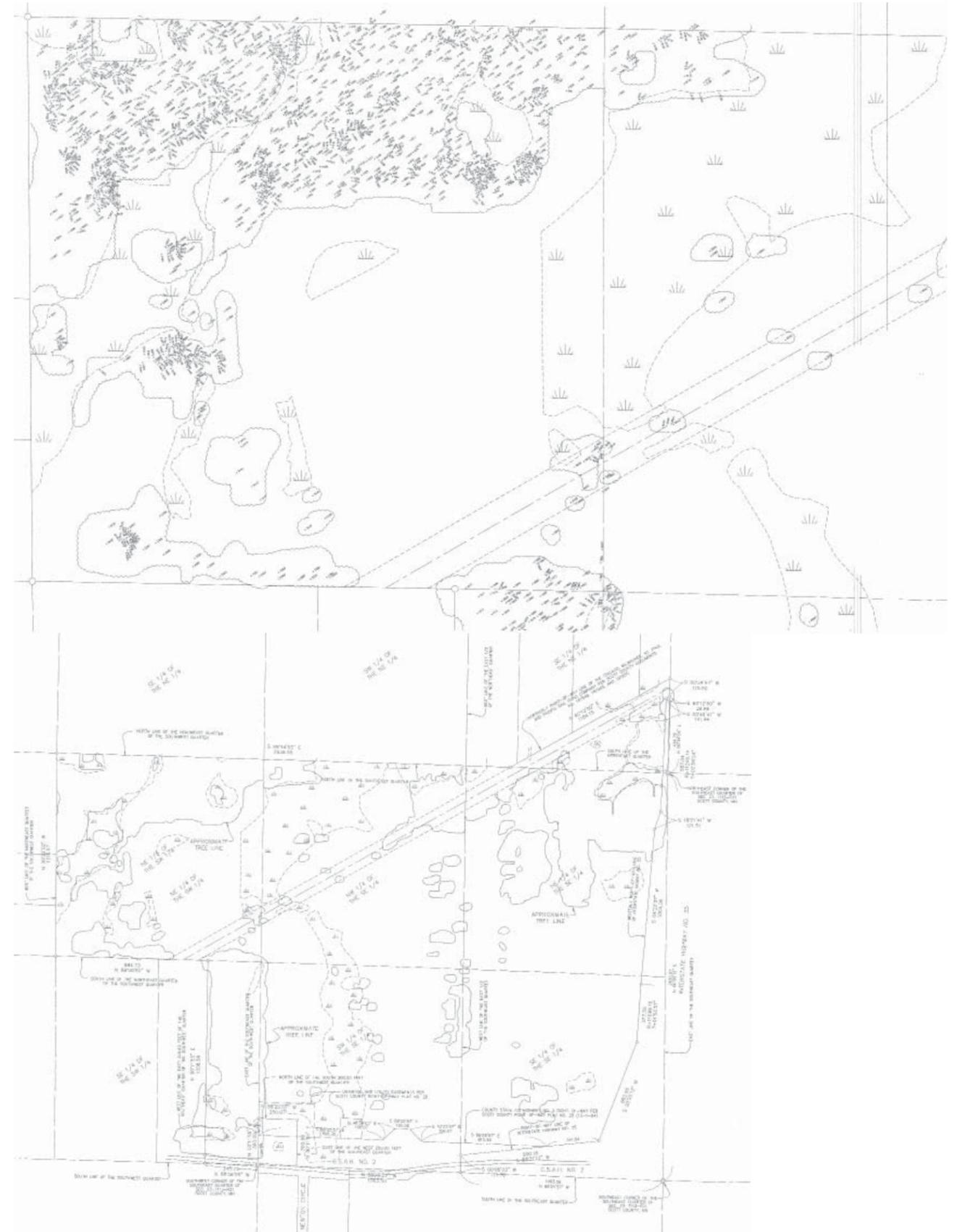
Oak Openings and Barrens: usually occurred as a buffer between the Prairies and Big Woods. Sandy, droughty soils, such as those of the Anoka Sandplain (Anoka, Isanti, and Chisago Counties), were often associated with it. It consisted of oak groves or single trees (most bur oak – *Quercus macrocarpa*) in a matrix of xeric tall-grass prairie. Other important species were: big bluestem, little bluestem, indian grass, panic grass (*Panicum leigergii*), porcupine grass (*Stipa spartea*), hazel, rose, and many herbs. Kichler (1964) called this type Oak Savanna (*Quercus-Andropogon*) and followed Marschner's boundaries closely. Curtis (1959) recognized Oak Opening and Oak Barrens as two distinct types. His data provided rich detail, and both types are probably close analogues of Marschner's type, especially for southeastern and south-central Minnesota. Toward the north the Oak Openings and Barrens integrated with Jack Pine Barrens and Openings.



Scott County Pre-Settlement Vegetation (Approx. 1855), Source: Scott County Comprehensive Water Resource Management Plan 2009-2018

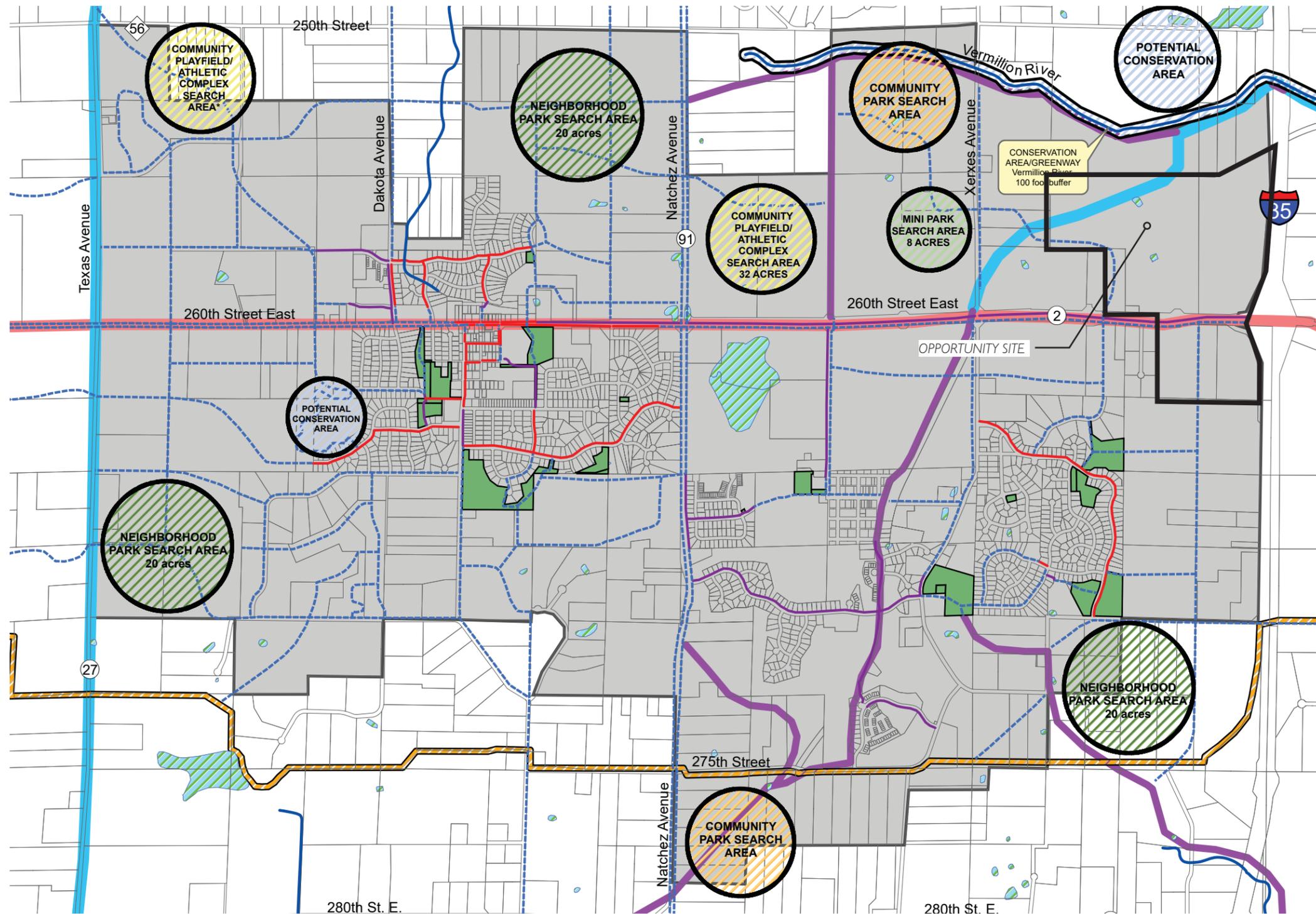
### TREE INVENTORY MAPS

The maps below show the tree inventory maps completed by Jacobson Engineers on October 4th, 2004 of Elko New Market.



South Tree Inventory Map, North West Tree Inventory Map, Tree Inventory Map, Source: Jacobson Engineers Surveyors (10/4/04)





**CITY OF ELKO NEW MARKET 2030 PARK & TRAIL PLAN**

The map below shows a proposed County Trailway Corridor through the northwestern corner of The Property and a proposed City Trails / Sidewalks through western portion of The Property. The County Trailway Corridors are intended to connect trail users to regional parks, open spaces, and recreational areas located throughout Scott County. The proposed County Trailway Corridor extends to the northeast from Elko New Market along the Vermillion River and connects to Dakota County. City Trails and Sidewalks supplement the aforementioned county and City Trailway Corridors, connecting these larger trail networks to local neighborhoods, commercial nodes, school facilities and other parks within the network. Where the city trails/sidewalks are proposed along county roads. There is also existing sidewalks along the westbound and eastbound roadways of CSAH 2.

- 2030 Elko New Market City Boundary
- Streams
- Lakes
- Wetlands
- Existing Elko New Market Park
- Existing City Trail
- Existing City Sidewalk
- MinnCan Pipeline Route (Potential Trail)
- CapX 2020 Route (Potential Trail)
- Proposed City Trails / Sidewalks
- Proposed City Trailway Corridor
- Proposed County Trailway Corridor
- Proposed Trailway Corridor\*

\*Scott County will seek regional status from the Metropolitan Council.

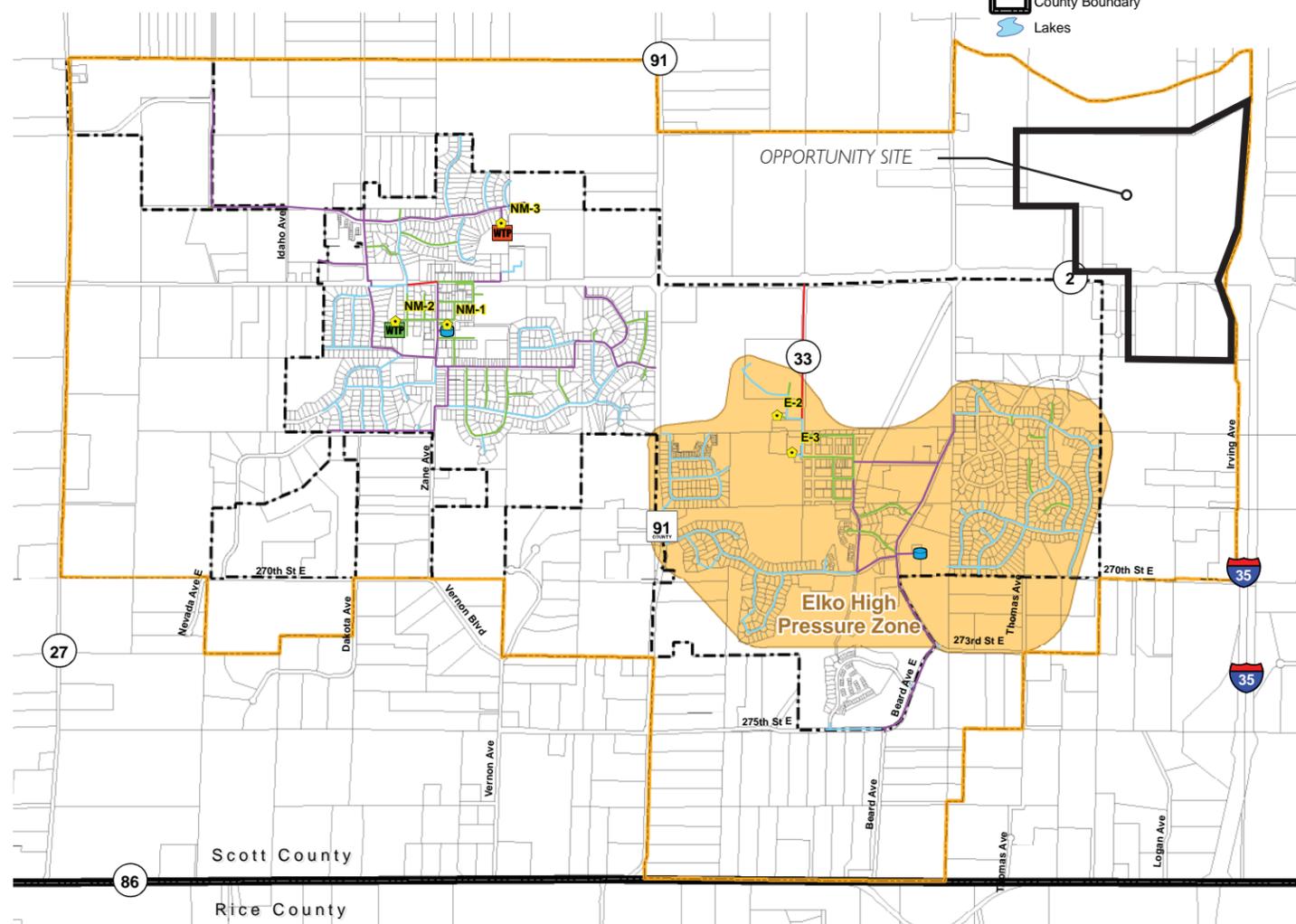
# INFRASTRUCTURE

## INTRODUCTION

The Property does not currently fall within the Elko New Market city limits and as such city utilities do not yet serve the site. As the property is guided for annexation by the City and has been designated in the Future Land Use Plan future utility extensions are expected. The following plans are based on 2008 population projections. The 2018 Comprehensive Plan (underway) identifies a comparable projected population and so it is reasonable to expect a similar proposed water system plan.

### ELKO NEW MARKET WATER DISTRIBUTION PLAN EXISTING WATER SYSTEM, 2008

The existing water system of Elko New Market currently extends to the city limits. The property is not currently within the city limits and has no current watermain extending to the property. The map from 2008 below shows five wells and still operates on the primary four wells. Before the city merger of Elko and New Market, the City of Elko obtained water from two wells named Elko 2 and Elko 3. The City of New Market also draws water from two wells named New Market 2 and New Market 3. New Market maintains an older low capacity well, New Market 1, as an emergency backup well. The total pumping capacity of the existing wells is 1300 gpm, producing 1.56 million gallons per day (MGD). There is also two existing water towers in the City of Elko New Market with existing storage capacity of 150,000 gallons (Tower No. 1) and 250,000 gallons (Tower No. 2).



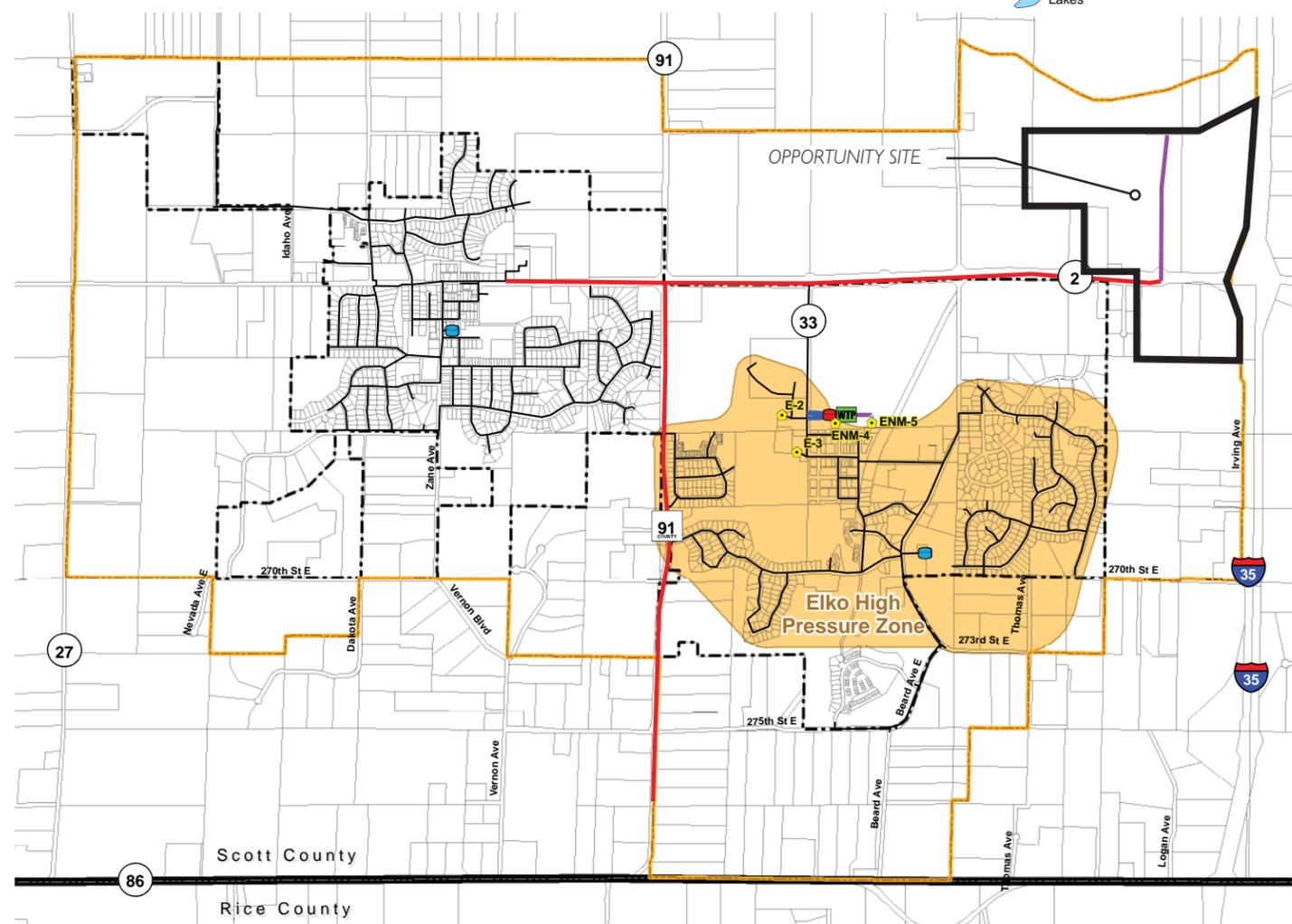
Elko New Market Water Distribution Plan Existing Water System, Source: 2030 Water Plan, Appendix C of the 2008 Elko New Market Comprehensive Plan

### Legend

- Wells**
  - Elko Well 2 - 300 gpm
  - Elko Well 3 - 650 gpm
  - New Market Well 1 - 80 gpm
  - New Market Well 2 - 250 gpm
  - New Market Well 3 - 945 gpm
- Storage Tanks**
  - Elko Tower 1 - 150,000 gallons
  - New Market Tower 1 - 250,000 gallons
- Water Treatment Plants**
  - WTP No. 1 - 90,000 gallons
  - WTP No. 2 - 90,000 gallons
- Watermain**
  - 6"
  - 8"
  - 10"
  - 12"
  - 16"
- Elko Pressure Zone
- 2030 Undesignated MUSA Reserve Boundary
- Elko New Market City Limits
- County Boundary
- Lakes

### ELKO NEW MARKET WATER DISTRIBUTION PLAN PROPOSED SYSTEM, 2008

The proposed water distribution plan indicates the extension of the existing 109,000 feet of watermain. The 16" pipeline extension is proposed to run east along County State Aid Highway 2 and south along county road 91. The eastern extension will reach the proposed roadway access of The Property and continue north to the edge of The Property as a 12" pipeline. It should be noted that this proposed water distribution plan was based on previous census data where it was projected that the City of Elko New Market would see exponential growth trends by 2030, increasing the total capacity to 7.68 MGD. Based on those projections in 2008, five new wells would be required along with a new water treatment facility. The projected wells would also need an increase of storage which was projected in 2008 to be 1,000,000 gallons by 2030.



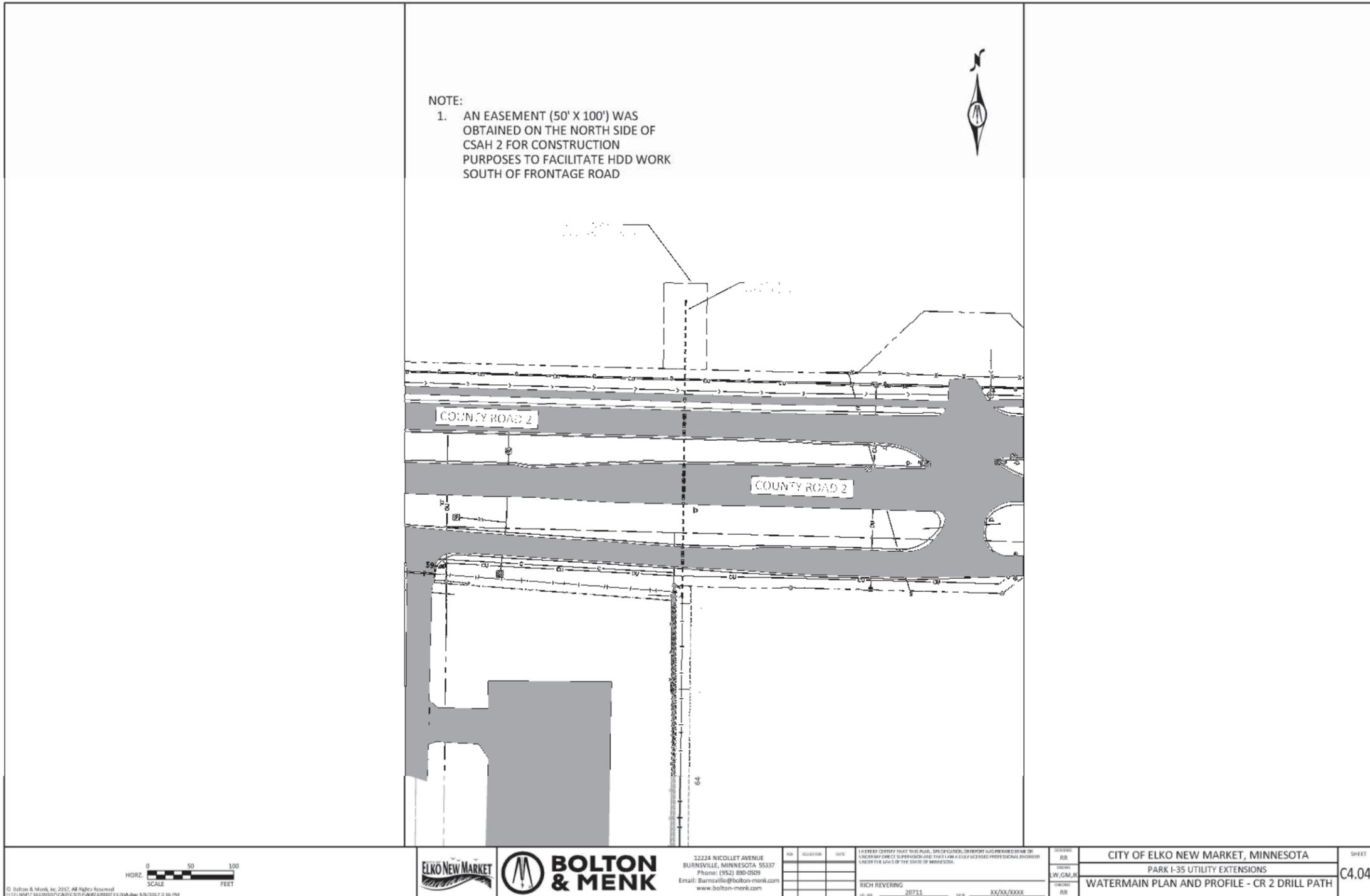
Elko New Market Water Distribution Plan Proposed System, Source: 2030 Water Plan, Appendix C of the 2008 Elko New Market Comprehensive Plan

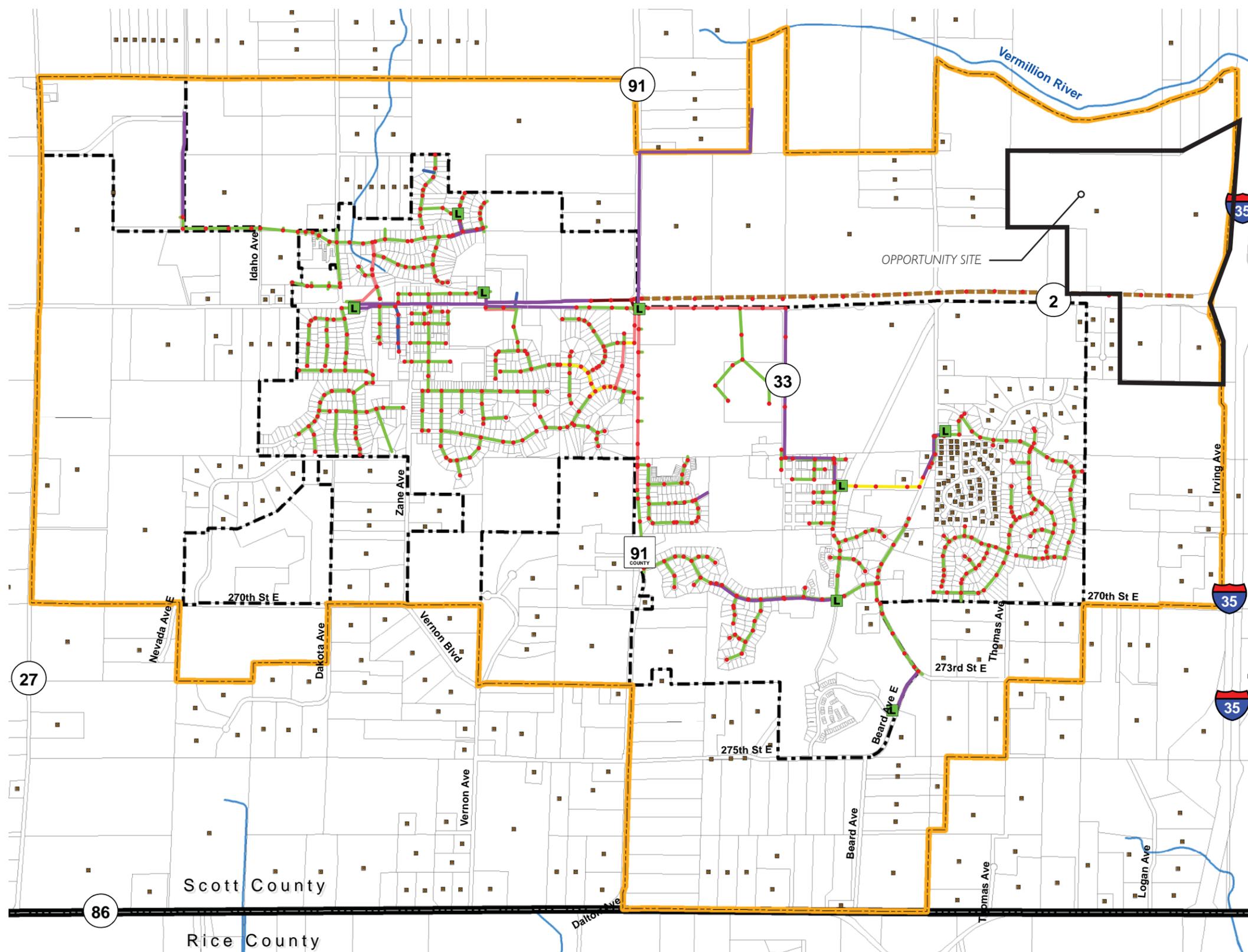
### Legend

- Wells**
  - Elko Well 2 - 300 gpm
  - Elko Well 3 - 650 gpm
  - Elko New Market Well 4 - 900 gpm
  - Elko New Market Well 5 - 900 gpm
- Storage Tanks**
  - Proposed Reservoir - 500,000 gallons
  - Elko Tower 1 - 150,000 gallons
  - New Market Tower 1 - 250,000 gallons
- Water Treatment Plants**
  - Proposed WTP
- Proposed Watermain**
  - 6"
  - 8"
  - 10"
  - 12"
  - 16"
- Existing Watermain
- Elko Pressure Zone
- 2030 Undesignated MUSA Reserve Boundary
- Elko New Market City Limits
- County Boundary
- Lakes

**ELKO NEW MARKET WATERMAIN LAYOUT MAP**

Elko New Market has a proposed utility extension along CSAH 2 to I-35 drafted by Bolton & Menk. The preliminary plans show the watermain connecting at France Avenue and running east, along CSAH 2, with a proposed stub located west of the site's access along CSAH 2.





**EXISTING SANITARY SEWER PLAN, 2008**

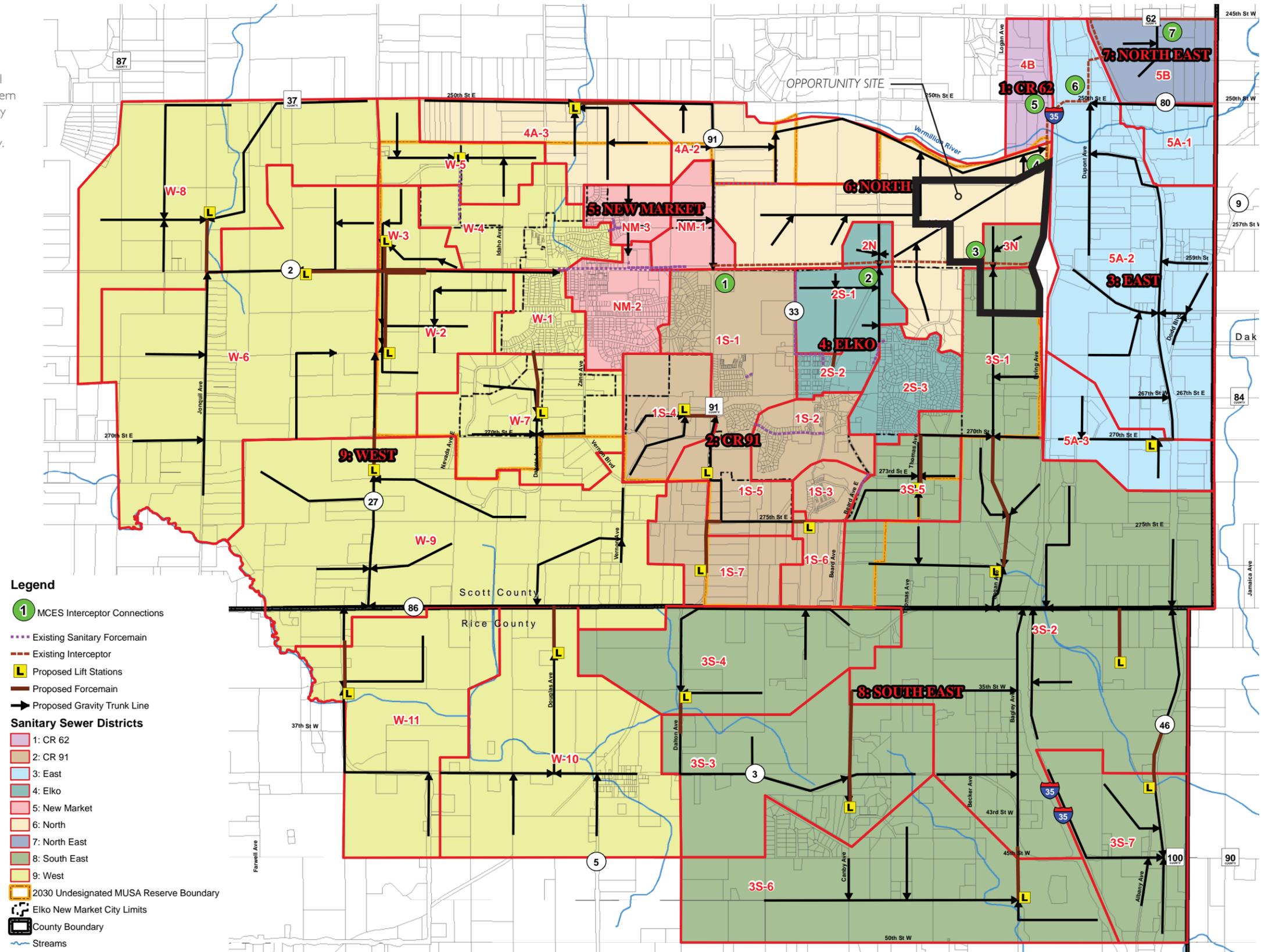
Metropolitan Council Environmental Services (MCES) constructed a 42" interceptor sewer to serve the City. The City of Elko New Market existing wastewater treatment facility retired when the interceptor went online. Connection to the MCES interceptor will be able to facilitate the City, and projected growth.

**Legend**

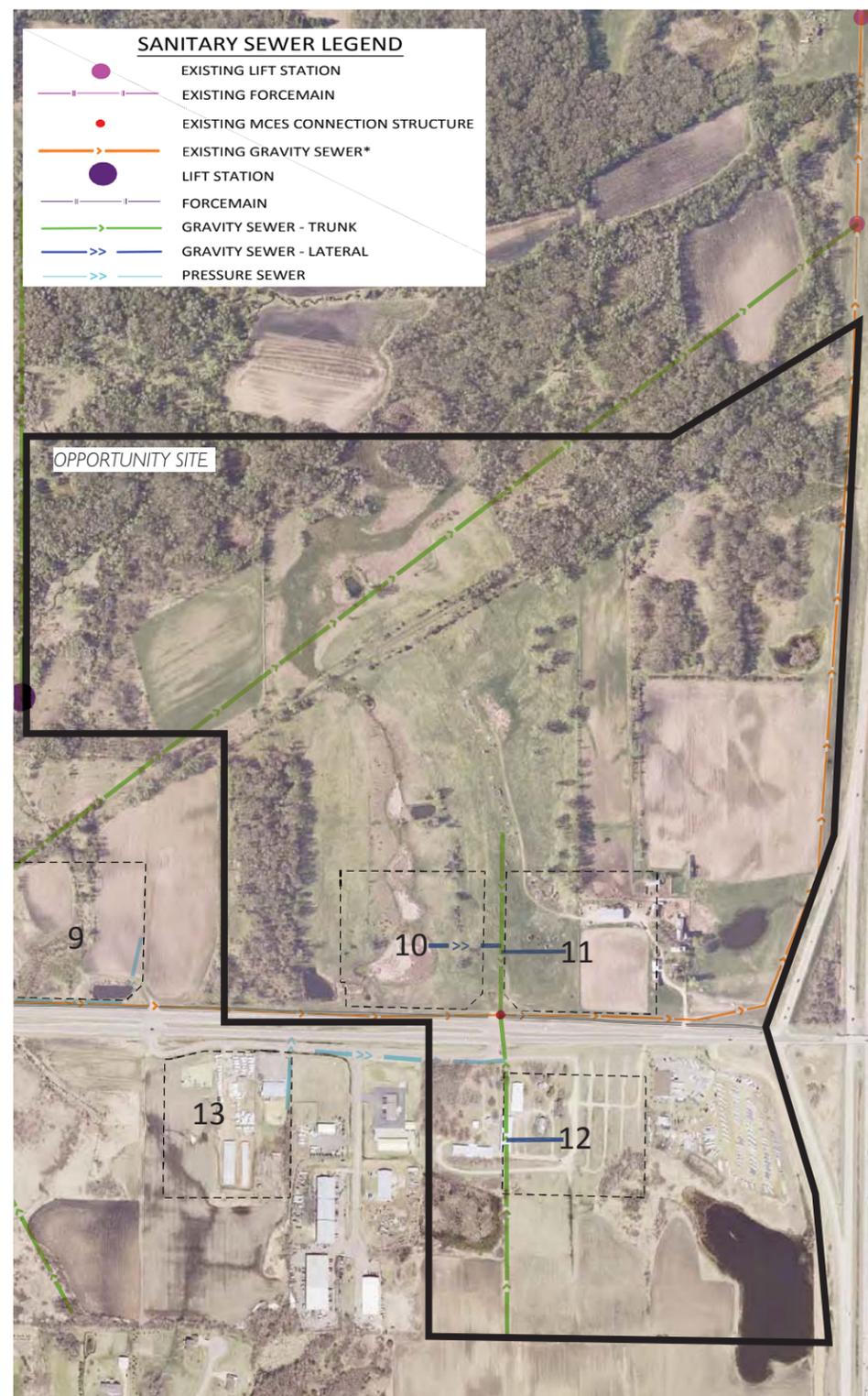
- Scott County Parcels with Septic Systems
- Lift Station
- Sanitary Manhole
- Sanitary Pipes**
- 6"
- 8"
- 10"
- 12"
- 18"
- Sanitary Forcemain
- MCES Interceptor
- 2030 Undesignated MUSA Reserve Boundary
- Elko New Market City Limits
- County Boundary
- Streams

**PROPOSED SANITARY SEWER PLAN, 2008**

The Property is capable of connecting to the 42" MCEs interceptor as shown in the map. The lower section of The Property to the north of CSAH 2 is indicated to connect to the interceptor at connection 3, while the upper section will be capable of connecting to connection 4. The entire southern section of The Property can be served by a proposed gravity service line connecting to connection 3. There are also no proposed lift stations within the boundaries of The Property.



PROPOSED SANITARY SEWER PLAN, 2016



Elko New Market Sanitary Sewer Layout Map, 2016, Source: CSAH 2 Development Infrastructure Needs Study, Bolton & Menk, Inc. Project No. T16.110497

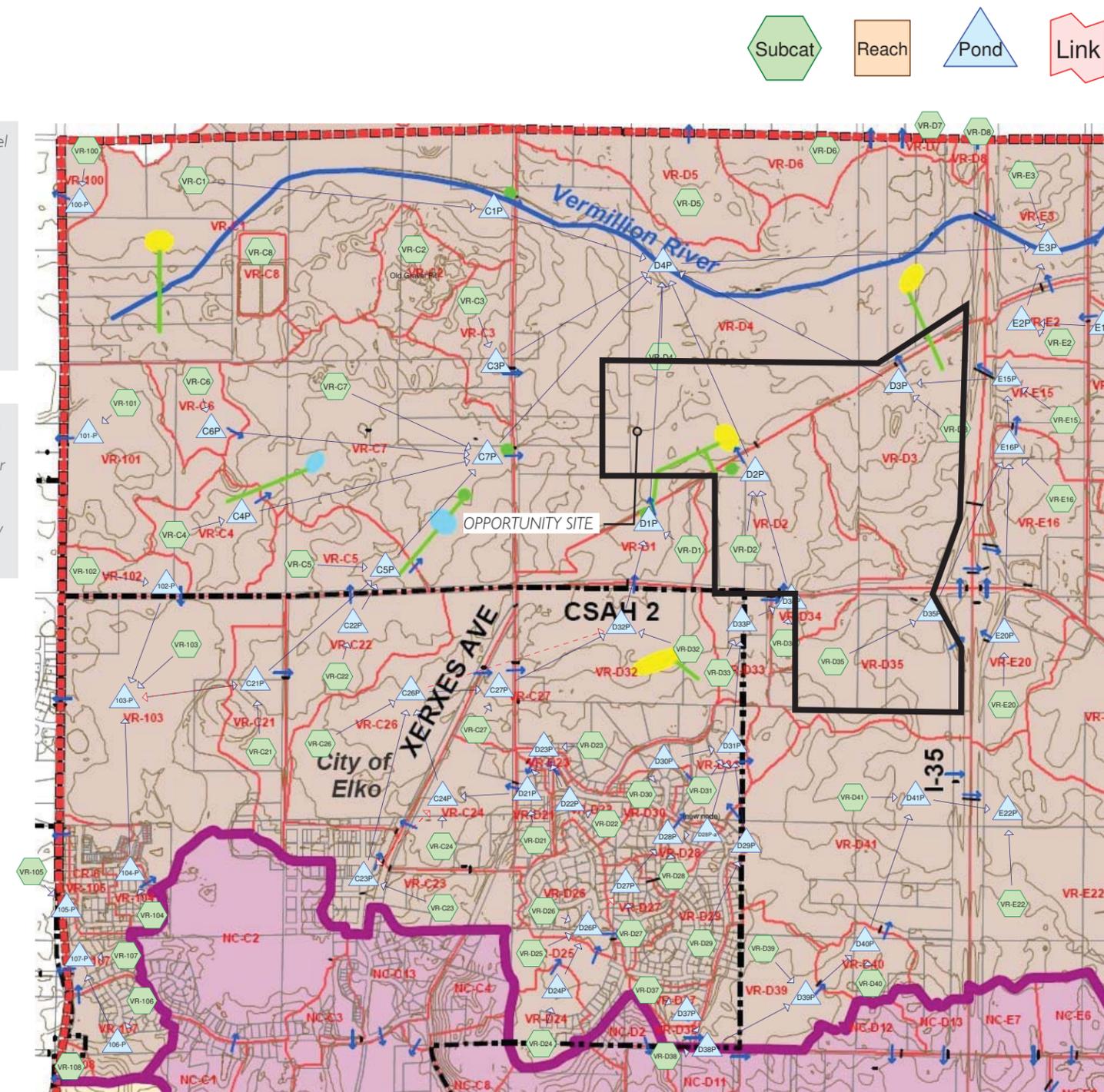
DRAINAGE DIAGRAM OF ELKO NEW MARKET WATERSHED, 2008

In 2008 a drainage model was completed for the city of Elko New Market. The watersheds can also be seen in the Environmental Resources Water section. The Property has four watersheds within the boundaries noted as VR-D2, VR-D3, VR-D34, and VR-D35. From the indicated map there are five ponds (D3P, D2P, D33P, D34P, D35P) within The Property boundaries and four subcatchments which correspond to the watersheds. The drainage system of The Property is not isolated and is connected to surrounding ponds. The findings of the subcatchments and ponds from the model can be found in the City of Elko New Market 2030 Storm Water Management Plan, Appendix E 2008 Elko New Market Comprehensive Plan.

**Subcatchment:** A subcatchment is used to model the runoff from a given area of land. Each subcatchment generates a runoff hydrograph, which is typically routed into a downstream reach or pond. A subcatchment can also be used to account for the rain falling directly on the surface of a pond. A subcatchment cannot be used to route an inflow hydrograph. Instead, use a subcatchment to calculate the runoff and a separate reach to perform the routing.

**Pond:** A pond is used to model a reservoir, dam, catch basin, manhole, drywell, storage chamber, vault, or other impoundment that fills with water from one or more sources and empties in a manner determined by a weir, culvert, orifice, or other outlet devices. "Zero storage ponds" may also be used to model certain storm sewers.

Definitions from hydrocad.net



Insert Source / Title



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Vacation of Easement - Dakota Acres
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Renee Christianson, Community Development Specialist
<b>REQUESTED ACTION:</b>	Approve Resolution 18-63 Vacating Easement For Sidewalk, Trail, Public Street, Drainage and utility Purposes

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

## **BACKGROUND**

The City Council is being asked to vacate a portion of an easement that was acquired in 2006 from the original developer of Dakota Acres, Giles Properties. The easement was acquired in 2006 so that the trail on the west side of Dakota Avenue could be constructed.

Now, the same area will be dedicated to the City/public as road right-of-way in the plat of Dakota Acres 1<sup>st</sup> Addition. The City Attorney has recommended that this easement, in the same location as future road right-of-way, be vacated. If left in place the easement creates a title issue.

A public hearing is required before the resolution can be adopted. The notice of public hearing has been published (twice) in the local newspaper as required by state law.

## **ACTION REQUESTED:**

The City Council is being approve Resolution #18-63 Vacating Easement for Sidewalk, Trail, Public Street, Drainage and utility Purposes.

### **Attachments:**

- Draft Resolution #18-63
- Easement Document #736586
- Depiction of Easement Area Proposed for Vacation

**CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA**

**RESOLUTION NO. 18-63**

**RESOLUTION VACATING EASEMENT FOR SIDEWALK, TRAIL,  
PUBLIC STREET, DRAINAGE AND UTILITY PURPOSES**

**WHEREAS**, pursuant to Minnesota Statutes § 412.851 the City Council of the City of Elko New Market has conducted a hearing preceded by two (2) weeks published and posted notice and mailed notice to the abutting property owners, to consider the vacation of easements for sidewalk, trail, public street, drainage and utility purposes over, on, across, under, and through the land legally described in the attached Exhibit A (“Dakota Avenue Trail Easement”);

**WHEREAS**, in conjunction with the platting of property that includes the property within the Dakota Avenue Trail Easement, right of way for Dakota Avenue will be dedicated, thereby replacing the Dakota Avenue Trail Easement;

**WHEREAS**, following the hearing and consideration of the proposed vacation, the Council has determined that it is in the public interest to vacate the easements conditioned upon the recording the plat dedicating the necessary right of way for Dakota Avenue.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Elko New Market:

1. The sidewalk, trail, public street, drainage and utility easement described herein are hereby vacated, conditioned upon the recording of the plat of Dakota Acres 1<sup>st</sup> Addition that includes dedication of the necessary right of way for Dakota Avenue as determined by the City.
2. The City Clerk is directed to file a certified copy of the resolution vacating the easements with the County Auditor and County Recorder in and for Scott County simultaneous with the recording of the above mentioned plat of Dakota Acres 1<sup>st</sup> Addition.

**APPROVED AND ADOPTED** this 27<sup>th</sup> day of September, 2018 by the City Council of Elko New Market.

CITY OF ELKO NEW MARKET

BY: \_\_\_\_\_

Robert Crawford, Mayor

ATTEST:

\_\_\_\_\_  
Sandra Green, City Clerk

## **EXHIBIT A**

That part of the sidewalk, trail, public street, drainage and utility easement granted to the City of New Market, dated March 1, 2006, recorded April 26, 2006 as Document No. A736586 located within Outlot C, Dakota Acres, Scott County, Minnesota, according to the recorded plat thereof.

Doc. No. A 736586

OFFICE OF THE COUNTY RECORDER  
SCOTT COUNTY, MINNESOTA

Certified Filed and/or Recorded on

04-26-2006 at 01:30 Receipt: 548993

Pat Boeckman, County Recorder

01

Fee: \$ 46.00

x *Campbell Knutson*

GRANT OF PERMANENT EASEMENT

Giles Properties, Inc., a Minnesota corporation, "Grantor", in consideration of One Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, does hereby grant unto the CITY OF NEW MARKET, a Minnesota municipal corporation, the Grantee, hereinafter referred to as the "City", its successors and assigns, a permanent easement for sidewalk, trail, public street, drainage and utility purposes over, across, on, under, and through the land situated in the County of Scott, State of Minnesota, as legally described on the attached Exhibit "A".

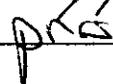
INCLUDING the rights of the City, its contractors, agents, servants, and assigns, to enter upon the permanent easement premises at all reasonable times to construct, reconstruct, inspect, repair, and maintain said public street, sidewalk, trail and drainage and utility systems over, across, on, under, and through the permanent easement premises, together with the right to grade, level, fill, drain, and excavate the permanent easement premises, and the further right to remove trees, bushes, undergrowth, and other obstructions interfering with the location, construction, and maintenance of said public street, drainage and utility easements.

The above named Grantor, for itself, its successors and assigns, does covenant with the City, its successors and assigns, that it is well seized in fee title of the above described easement premises; that it has the sole right to grant and convey the easement to the City; that there are no

unrecorded interests in the easement premises; and that it will indemnify and hold the City harmless for any breach of the foregoing covenants.

IN TESTIMONY WHEREOF, the Grantor hereto has signed this document this 1<sup>st</sup> day of March, 2006.

**GRANTOR:**  
Giles Properties, Inc.

By:   
Its: 

STATE OF MINNESOTA )  
 ) ss.  
COUNTY OF SCOTT )

The foregoing instrument was acknowledged before me this 1<sup>st</sup> day of March, 2006, by Tim Giles, the President of Giles Properties, Inc., a Minnesota corporation, on behalf of said corporation, Grantor.



  
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:

CAMPBELL KNUTSON  
*Profession Association*  
317 Eagandale Office Center  
1380 Corporate Center Curve  
Eagan, MN 55121  
Telephone: (651) 452-5000  
AMP

**EXHIBIT "A"**

**TO**

**GRANT OF PERMANENT EASEMENT**

A 10.00 foot permanent easement for street, trailway, walkway, drainage and utility purposes over, under and across part of Lot 1, Block 6, Outlot B and Outlot C, Dakota Acres according to the recorded plat thereof, Scott County, Minnesota, which lies easterly of a line drawn 10.00 feet westerly of and parallel with the west line of Dakota Avenue.

230270220  
0240  
0250

*(Reserved for Recording Data)*

**MORTGAGE HOLDER  
CONSENT TO EASEMENT**

Premier Bank Minnesota, which holds a mortgage on all or part of the property more particularly described in the foregoing Grant of Permanent Easement, which mortgage is dated December 10, 2002, and recorded December 13, 2002, as Document No. 577063, with the office of the County Recorder for Scott County, Minnesota, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, does hereby join in, consents, and is subject to the above referenced Grant of Permanent Easement.

Todd D. Markman

By:   
Its: President







# STAFF MEMORANDUM

<b>SUBJECT:</b>	2019 Preliminary Budget
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	AEM Financial Solutions, Accounting Consultant
<b>REQUESTED ACTION:</b>	Adopt Resolution 18-64 Approving 2019 Preliminary Budget and Adopt Resolution 18-65 Approving 2018 Tax Levy Collectible in 2019.

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

## **BACKGROUND**

The City Council will need to adopt a Preliminary Levy during the Business meeting. The Preliminary Levy has to be certified to Scott County by September 30, 2018. The Preliminary Levy establishes the maximum property tax levy for taxes payable in 2019. Following the adoption of the Preliminary Levy, the City Council has until December to refine the final budget and levy for adoption and certification. Staff presented the City Council with the Preliminary 2019 Budget and 2018 Tax Levy (payable in 2019) at the Workshop on August 23, 2018.

The Preliminary Budget is consistent with the Council direction and proposes a gross levy of \$2,344,696. This is an increase of \$175,760 or 8.10% from the 2018 levy. The total property tax levy consists of the following:

	<b><u>Adopted 2018</u></b>	<b><u>Preliminary 2019</u></b>	<b><u>Change</u></b>
General Operating Fund	1,654,293	1,811,910	9.53%
Capital Outlay	190,200	197,400	3.79%
Community Events	2,300	4,300	86.96%
Fire Fund (including debt)	122,143	105,540	-13.59%
Equipment Certificate Debt (excl. Fire Dept. debt)		-	0.00%
Bonded Debt	200,000	219,378	9.69%
<b>Total</b>	<b>2,168,936</b>	<b>2,338,528</b>	<b>7.82%</b>

In developing the 2019 Budget, the Council should also be aware that a change of approximately \$18,000 in the levy equates to 1% tax impact. Each 1% of tax impact equates to approximately \$10 to \$11 (annually) for the average home.

Historically, the great majority of homes in the community were tightly banded with regards to their change in assessed value (appreciation/depreciation). For example, for the 2012 Budget, 75% of homes were within 5% of each other with regards to their change in assessed valuation. As a result, it allowed the City to estimate a fairly consistent tax impact for the large majority of the homes based on a proposed levy. However, for the 2013-2018 Budgets, the range of change in assessed value for the majority of homes has increased from what it had been historically. Accordingly, the range of tax impact that homes would experience based on a proposed levy has also increased.

The trend has continued for the 2019 budget. Based on information provided by Scott County, 51% of homes experienced an increase of greater than 5% with 28% seeing a substantial increase greater than 10%. By contrast, 26% experienced modest appreciation of 5% or less and 22% experienced depreciation. The net result is a natural shift of tax burden to those homes that experienced greater appreciation. Those homes will see an increase in tax impact regardless of change in levy.

% EMV Value Range Inc/Dec	# of affected Properties	% of Total
+15.01+%	191	13%
+10.01-15.00%	224	15%
+5.01-10.00%	335	23%
+0.01-5.00%	381	26%
No Change	3	0%
-0.01-5.00%	243	17%
-5.01 - 10.00%	67	5%
-10.00 - 15.00%	11	1%
-15.01% +	4	0%
	1,459	100%

Based on information provided by the County Auditor's Office, the proposed levy in the Preliminary Budget would result in an estimated increased tax impact of 4.6% or \$52.26 for the "typical" home. This reflects the changes that were directed by the Council on August 23. Approximately 23% of homes experienced an increase in assessed value less than the "typical" home and would experience a decreased in tax impact. The weighted average tax impact for homestead residential properties would be an increase of 7.92%.

Attachments:

- Resolution 18-64 Approving 2018 Preliminary Budget.
- Resolution 18-65 Approving 2018 Tax Levy Collectable in 2019.
- 2019 Preliminary Budget (Separate Attachment)

**WHAT IF TAX COMPARISON PAY 2018 vs Pay 2019 - Elko New Market City**

Estimated Tax Impact

FISCAL YEAR 2018			MARKET VALUE TAX			Average Home	
4,004,374	TAX CAPACITY	\$ 2,168,936	FINAL CERTIFIED LEVY	\$ 387,893,300	Taxable Market Value	\$ 270,000	Median Market Value
(103,067)	TIF (-)	\$ (373,103)	FISCAL DISPARITY (-)	\$ 400,890,100	Referendum Market Value	\$ 263,300	Average Market Value
3,901,307	FISCAL DISPARITY (-)	\$ 1,795,833	TAX LEVY OR SPREAD LEVY	\$ -	CERTIFIED LEVY		
	NET TAX CAPACITY						
<b>Tax Rate</b>		<b>46.032%</b>	<b>0.0000%</b>		<b>Tax Rate</b>		

FISCAL YEAR 2019			MARKET VALUE TAX			Average Home	
4,334,174	Gross Tax Capacity	\$ 2,338,528	PROPOSED LEVY	\$ 419,331,100	Taxable Market Value	\$ 279,500	Median Market Value
(105,323)	TIF (-)	\$ (359,719)	FISCAL DISPARITY (-)	\$ 431,063,000	Referendum Market Value	\$ 279,300	Average Market Value
4,228,851	FISCAL DISPARITY (-)	\$ 1,978,809	TAX LEVY OR SPREAD LEVY	\$ -	PROPOSED LEVY		
	NET TAX CAPACITY						
<b>Tax Rate</b>		<b>46.793%</b>	<b>0.0000%</b>		<b>Tax Rate</b>		

(13,384) Fiscal Disparity Increase (Decrease)  
 8.40% Tax Capacity Increase (Decrease)  
 8.10% Market Value Increase (Decrease)

**RESIDENTIAL IMPACTS**

\$ 169,592 10.2782858

	% EMV Value Range Inc/Dec	# of affected Properties	% of Total	Avg Market Value 2018	Avg Market Value 2019	Value Exclusion 2018	Value Exclusion 2019	Taxable Market Value 2018	Taxable Market Value 2019	Taxable % Change 18 vs 19	Net	MV Tax	Net	Net	MV Tax	Net	Net	Net	2018	2019	2019	2019
											Payable 2018	Payable 2018	Payable 2018	Payable 2019	Payable 2019	Payable 2018	Inc/Dec 18 vs 19	Difference % Change	Median Values	Median Values	Average Values	Value % Change
Elko New Market	+15.01+%	191	13%	\$ 263,300	\$ 302,795	\$ 13,543	\$ 9,988	\$ 249,757	\$ 292,807	17.24%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,370.13	\$ -	\$ 1,370.13	\$ 220.46	19.2%	\$ 270,000	\$ 279,500	\$ 279,300	3.5%
	+10.01-15.00%	224	15%	\$ 263,300	\$ 296,213	\$ 13,543	\$ 10,581	\$ 249,757	\$ 285,632	14.36%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,336.56	\$ -	\$ 1,336.56	\$ 186.89	16.3%				
	+5.01-10.00%	335	23%	\$ 263,300	\$ 283,048	\$ 13,543	\$ 11,766	\$ 249,757	\$ 271,282	8.62%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,269.41	\$ -	\$ 1,269.41	\$ 119.74	10.4%				
	+0.01-5.00%	381	26%	\$ 263,300	\$ 269,883	\$ 13,543	\$ 12,951	\$ 249,757	\$ 256,932	2.87%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,202.26	\$ -	\$ 1,202.26	\$ 52.59	4.6%				
	No Change	3	0%	\$ 263,300	\$ 263,300	\$ 13,543	\$ 13,543	\$ 249,757	\$ 249,757	0.00%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,168.69	\$ -	\$ 1,168.69	\$ 19.02	1.7%				
	-0.01-5.00%	243	17%	\$ 263,300	\$ 256,718	\$ 13,543	\$ 14,135	\$ 249,757	\$ 242,582	-2.87%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,135.12	\$ -	\$ 1,135.12	\$ (14.56)	-1.3%				
	-5.01 - 10.00%	67	5%	\$ 263,300	\$ 243,553	\$ 13,543	\$ 15,320	\$ 249,757	\$ 228,232	-8.62%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,067.97	\$ -	\$ 1,067.97	\$ (81.70)	-7.1%				
	-10.00 - 15.00%	11	1%	\$ 263,300	\$ 230,388	\$ 13,543	\$ 16,505	\$ 249,757	\$ 213,882	-14.36%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 1,000.82	\$ -	\$ 1,000.82	\$ (148.85)	-12.9%				
	-15.01% +	4	0%	\$ 263,300	\$ 223,805	\$ 13,543	\$ 17,098	\$ 249,757	\$ 206,707	-17.24%	\$ 1,149.67	\$ -	\$ 1,149.67	\$ 967.25	\$ -	\$ 967.25	\$ (182.42)	-15.9%				
			1,459	100%																		

% EMV Value Range Inc/Dec	# of affected Properties	Net
		Difference % Change
+15.01+%	191	19.2%
+10.01-15.00%	224	16.3%
+5.01-10.00%	335	10.4%
+0.01-5.00%	381	4.6%
No Change	3	1.7%
-0.01-5.00%	243	-1.3%
-5.01 - 10.00%	67	-7.1%
-10.00 - 15.00%	11	-12.9%
-15.01% +	4	-15.9%

1,459

Weighted Value
3662.61%
3641.28%
3489.07%
1742.90%
4.96%
-307.64%
-476.14%
-142.42%
-63.47%

11551.15%

7.92% Weighted Avg. Impact

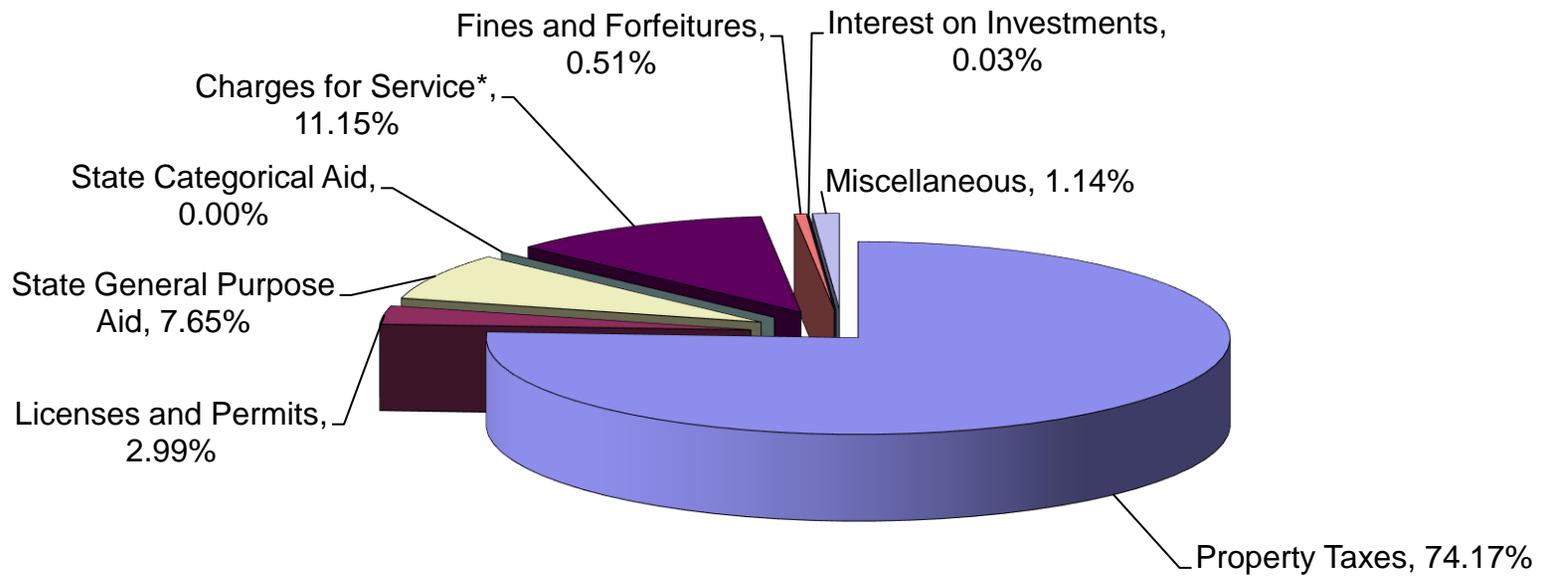
## Summary of General Fund

	2019			2019	
<b>Revenues</b>	<b>Budget</b>	<b>%</b>	<b>Expenditures</b>	<b>Budget</b>	<b>%</b>
Property Taxes	2,195,754	74.17%	General Government	735,642	24.01%
Tax Increments	-	0.00%	Public Safety**	1,130,077	36.88%
Other Taxes	-	0.00%	Streets and Highways	318,889	10.41%
Special Assessments	-	0.00%	Sanitation	6,500	0.21%
Licenses and Permits	88,432	2.99%	Human Services	-	0.00%
Federal Grants	-	0.00%	Health	-	0.00%
State General Purpose Aid	226,551	7.65%	Culture and Recreation	182,194	5.95%
State Categorical Aid	-	0.00%	Conservation of Natural Resources	-	0.00%
County and Local Government Grants	70,000	2.36%	Redevelopment, Economic Development and Housing	-	0.00%
Charges for Service*	330,031	11.15%	Miscellaneous	-	0.00%
Fines and Forfeitures	15,000	0.51%	Debt Service Principal	152,093	4.96%
Interest on Investments	1,000	0.03%	Interest and Fiscal Charges	22,877	0.75%
Bond Sale Proceeds	-	0.00%	Capital Outlay	224,700	7.33%
Other Financing Sources	-	0.00%	Other Financing Uses	-	0.00%
Transfers from Other Funds	-	0.00%	Transfer to Other Funds	224,399	7.32%
Miscellaneous	33,700	1.14%	Budgeted Reserves	67,001	2.19%
<b>Total Revenues</b>	<b>2,960,469</b>	<b>100.00%</b>	<b>Total Expenditures</b>	<b>3,064,372</b>	<b>100.00%</b>

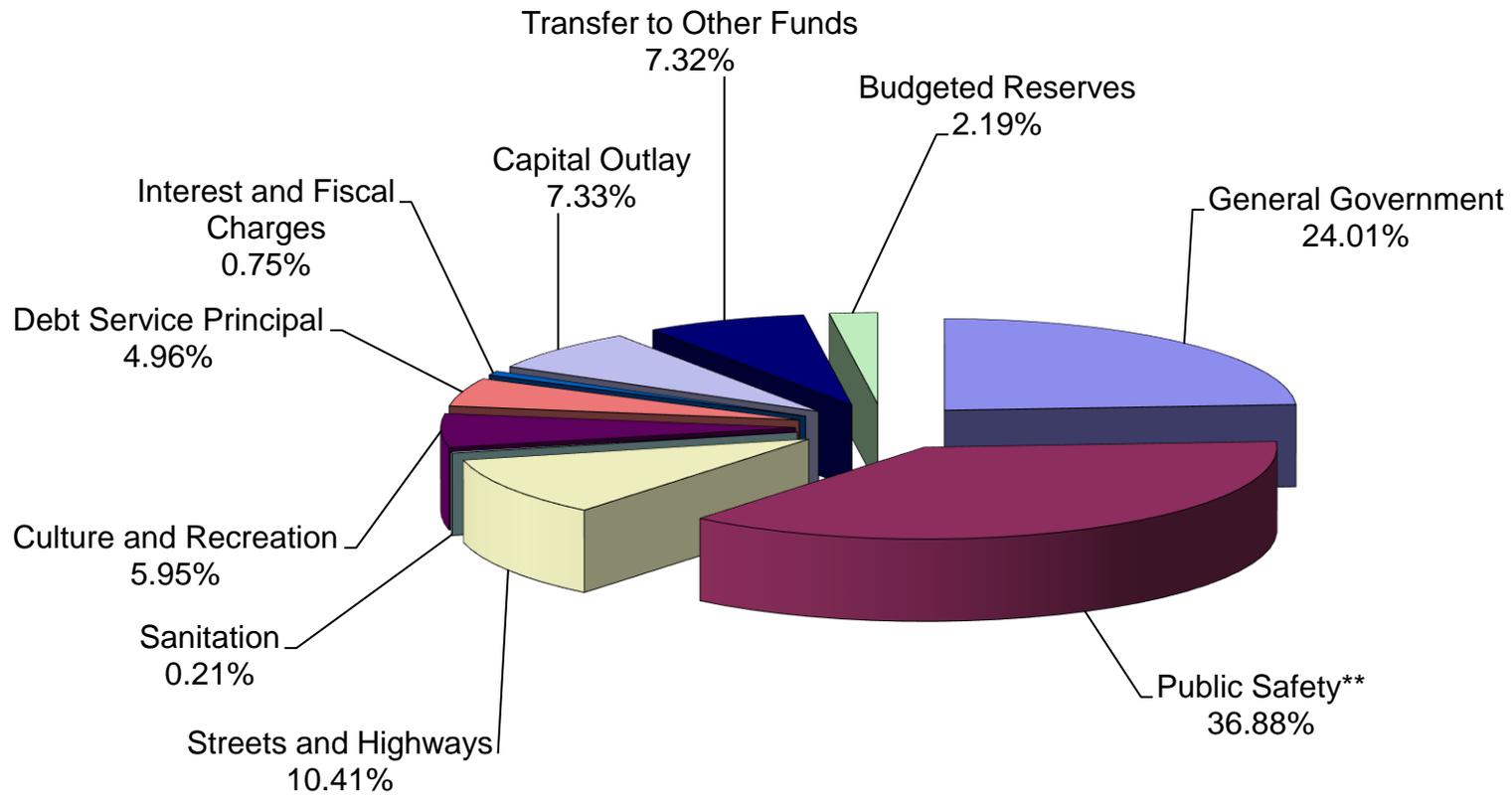
\*Includes Revenues from Fire Contracts

\*\*Includes Fire Department Expenditures

# Revenues



# Expenditures



**Year 2019 General Fund Operating - General Fund Revenues**

REVENUES

General Government

	2012 Actual	2013 Actual	2014 Actual	2015 Actual	2016 Actual	2017 Actual	2018 Budget	Year-to-date thru Jun 30, 2018	Proposed 2019 Budget
40000 General									
31010 Current Ad Valorem Taxes	1,086,219	1,095,821	1,139,287	1,485,017	1,506,766	1,569,230	1,654,293	857,242	1,811,910
31019 Special Assessments	-	-	-	10,203	5,251	4,879	-	409	-
31040 Fiscal Disparities	268,918	255,661	319,530	-	-	-	-	-	-
31900 Penalties and Interest DelTax	-	247	134	-	-	-	-	-	-
31910 Penalties and Interest AdValTax	-	-	-	386	-	-	-	-	-
33401 Local Government Aid	164,986	164,986	206,682	239,132	215,967	216,188	225,909	-	226,551
33402 Market Value Credit	283	188	188	386	379	383	-	-	-
33403 Small City Assistance Grant	-	-	-	-	-	33,247	-	-	-
36200 Miscellaneous Revenues	(32)	3,067	6,288	8,859	1,796	4,008	-	2,419	-
36210 Interest Earnings	1,748	1,149	803	1,490	1,389	797	1,500	386	1,000
36230 Contributions and Donations	2,500	2,150	625	425	-	350	1,000	1,729	2,000
39101 Sales of General Fixed Assets	-	-	-	-	-	21,300	-	(21,300)	-
<b>Total General</b>	<b>1,524,621</b>	<b>1,523,269</b>	<b>1,673,537</b>	<b>1,745,898</b>	<b>1,731,548</b>	<b>1,850,381</b>	<b>1,882,702</b>	<b>840,885</b>	<b>2,041,461</b>
41400 City Clerk - Finance									
32000 Licenses and Permits	100	850	750	1,565	865	1,130	1,000	180	1,000
32110 On-Sale Liquor License	14,056	16,981	16,000	19,447	18,600	16,000	18,000	-	18,000
32111 Off-Sale Liquor License	814	596	650	600	50	600	600	-	600
32112 Sunday Liquor	996	1,698	1,600	1,905	-	1,625	1,800	-	1,800
32113 On-Sale Non-Intoxicating Beer	400	400	400	-	-	400	400	-	400
32114 Off-Sale Non-Intoxicating Beer	134	50	-	50	-	-	50	-	50
32115 Wine License	-	-	-	-	25	-	-	25	-
32116 Liquor License Investigation Fee	500	500	-	1,000	-	-	-	-	-
32118 One Day Special Event Beer	-	25	25	50	50	50	-	75	-
32119 Temporary Amendment Liquor License Fee	-	-	50	25	-	225	-	100	-
32120 Temporary Expansion of Liquor Premise	-	400	150	100	-	-	-	-	-
32171 Speedway Permit - Annual	-	1,171	1,171	2,342	1,471	-	1,171	-	-
32172 Speedway Permit - Special	300	-	-	-	-	-	-	-	-
32175 Speedway - Qtr. Midgets Annual	-	180	180	360	180	-	180	-	-
32176 Annual Permit Schedule Changes	5	-	-	10	-	-	-	-	-
32240 Animal Licenses	721	1,250	960	1,130	720	955	800	415	800
32301 Gambling Permit/Special	482	510	645	1,010	941	910	1,000	205	1,000
32303 Permits Sign Permit	-	-	-	-	100	-	-	150	-
32304 Permits Band/Outdoor Event	400	300	600	500	1,000	1,200	400	500	400
32305 Permits Fireworks	100	200	200	300	100	100	100	100	100
32308 ROW/Grading Permit	4,828	4,525	2,850	2,550	3,375	4,525	1,875	1,275	1,875
32400 Election Filings	6	-	25	-	30	-	-	-	-
34000 Charges for Service	-	30	10	-	-	-	-	-	-
34101 Franchise Fees	21,750	32,044	24,334	40,696	30,505	30,281	29,000	7,276	29,000
34102 Rent Revenue	4,800	4,800	4,500	5,200	4,825	4,600	4,800	2,500	4,800
34105 Notary Fee	32	30	45	33	29	91	-	80	-
34106 Copy / Tape Income	37	196	73	65	47	76	-	8	-
34107 Assessment Search Fees	25	-	50	-	400	50	-	200	-
36200 Miscellaneous Revenues	313	-	-	6	5,072	168	-	7	-
36240 Refunds & Reimbursements	7,992	6,247	4,427	9,053	14,686	4,975	3,000	197	3,000
<b>Total City Clerk - Finance</b>	<b>58,790</b>	<b>72,982</b>	<b>59,696</b>	<b>87,995</b>	<b>83,071</b>	<b>67,962</b>	<b>64,176</b>	<b>13,293</b>	<b>62,825</b>

**Year 2019 General Fund Operating - General Fund Revenues**

REVENUES

General Government

		2012 Actual	2013 Actual	2014 Actual	2015 Actual	2016 Actual	2017 Actual	2018 Budget	Year-to-date thru Jun 30, 2018	Proposed 2019 Budget
41550 Assessing										
31018	Certified Delinquent Bill Fee	5,250	7,928	-	6,809	-	-	7,000	-	7,000
		5,250	7,928	-	6,809	-	-	7,000	-	7,000
41600 Professional Services										
36240	Refunds & Reimbursements	-	-	-	-	-	-	-	-	-
39825	Grant Income	-	-	-	-	29,990	-	-	-	-
	Total Assessing	-	-	-	-	29,990	-	-	-	-
41910 Planning & Zoning										
34120	Application Fees	1,550	800	800	2,000	800	6,100	1,200	3,500	1,200
	Total Planning & Zoning	1,550	800	800	2,000	800	6,100	1,200	3,500	1,200
41940 General Govt. Buildings										
36220	Other Rents and Royalties	-	-	-	3,900	-	-	-	-	-
51000	Land	-	-	-	15,794	114,374	-	-	-	-
	Total General Govt. Buildings	-	-	-	19,694	114,374	-	-	-	-
42000 Police										
33423	State Police Aid	12,945	14,477	15,232	22,598	23,428	24,492	24,000	-	25,000
36230	Contributions and Donations	-	-	-	-	-	-	-	360	-
36240	Refunds & Reimbursements	-	-	-	-	579	-	-	1,206	-
39826	Grant Income Night Cap (TED)	862	5,640	5,795	3,532	3,239	2,855	-	1,252	-
39944	Community Programs	-	-	-	483	-	-	-	100	-
	Total Police	13,807	20,117	21,027	26,612	27,246	27,347	24,000	2,918	25,000
42100 Public Safety										
33400	State Grants and Aids	-	-	-	1,333	1,251	1,908	-	-	-
34000	Charges for Services	2,030	800	1,274	270	-	(395)	-	(30)	-
34106	Copy / Tape Income	4	5	-	-	-	-	-	-	-
35000	Fines - Traffic	11,295	14,580	16,293	17,832	18,736	17,821	15,000	7,359	15,000
35100	Joint Prosecution	6,371	3,580	6,526	6,842	-	-	-	-	-
35102	Accident Reports	-	8	-	-	5	-	-	-	-
36230	Contributions and Donations	-	-	-	-	-	2,051	-	-	-
39800	Towing Charges	-	224	-	241	109	218	-	-	-
39945	Miscellaneous Income	1,036	1,405	669	851	-	-	-	-	-
	Total Public Safety	20,735	20,602	24,761	27,368	20,100	21,603	15,000	7,329	15,000

**Year 2019 General Fund Operating - General Fund Revenues**

REVENUES

General Government

	2012 Actual	2013 Actual	2014 Actual	2015 Actual	2016 Actual	2017 Actual	2018 Budget	Year-to-date thru Jun 30, 2018	Proposed 2019 Budget	
42400 Building Permits										
32210 Building Permits	93,087	150,638	105,718	85,007	101,883	79,984	56,156	62,284	59,112	
32211 MN. State Surcharge Fee	3,736	6,065	5,650	2,767	4,153	2,718	1,975	2,295	2,095	
<b>Total Building Permits</b>	<b>96,823</b>	<b>156,703</b>	<b>111,369</b>	<b>87,774</b>	<b>106,037</b>	<b>82,702</b>	<b>58,131</b>	<b>64,578</b>	<b>61,207</b>	
43000 Public Works										
34000 Charges for Services	60	-	2,415	3,864	5,400	5,400	-	-	-	
34408 Solid Waste/Recycling	5,876	3,151	4,877	4,077	3,849	4,668	4,500	3,799	5,661	
36200 Miscellaneous Revenues	193	378	1,827	1,803	334	11,387	-	-	-	
<b>Total Public Works</b>	<b>6,129</b>	<b>3,529</b>	<b>9,119</b>	<b>9,744</b>	<b>9,583</b>	<b>21,456</b>	<b>4,500</b>	<b>3,799</b>	<b>5,661</b>	
43160 Light & Siren Utility										
36102 Penalties and Interest	(5)	(13)	(8)	148	(1,361)	(1,486)	-	(117)	-	
37500 Street Light / Siren Utility	72,236	76,876	76,168	70,247	80,374	77,390	78,500	40,590	78,500	
<b>Total Light &amp; Siren Utility</b>	<b>72,232</b>	<b>76,863</b>	<b>76,160</b>	<b>70,395</b>	<b>79,013</b>	<b>75,904</b>	<b>78,500</b>	<b>40,473</b>	<b>78,500</b>	
45000 Parks										
34701 Rental Fee Park Shelter	2,225	2,750	2,657	3,068	3,750	2,550	2,500	1,845	2,500	
36200 Miscellaneous Revenues	-	2,353	-	-	1,520	-	-	27	-	
36230 Contributions and Donations	-	-	-	-	-	-	-	200	-	
38080 Recreation Program	-	-	-	425	-	-	-	-	-	
<b>Total Parks</b>	<b>2,225</b>	<b>5,197</b>	<b>2,657</b>	<b>3,493</b>	<b>5,270</b>	<b>2,550</b>	<b>2,500</b>	<b>2,072</b>	<b>2,500</b>	
<b>Total General Fund Revenues</b>	<b>1,802,162</b>	<b>1,887,990</b>	<b>1,979,125</b>	<b>2,087,782</b>	<b>2,207,032</b>	<b>2,156,004</b>	<b>2,137,708</b>	<b>978,847</b>	<b>2,300,354</b>	

**Year 2019 General Fund Operating - General Fund Expenses**

EXPENDITURES

General Government

	2013 Actual	2014 Actual	2015 Actual	2016 Actual	2017 Actual	2018 Budget	Year-to-date thru Jun 30, 2018	Proposed 2019 Budget
<b>40000 General Government</b>								
430 Miscellaneous	1,746	2,334	(9,239)	603	5,281	-	628	-
510 Land								1,400
702 Transfers Out	404,000	412,000	140,966	161,442	312,604	169,432	-	197,099
<b>Total General Government</b>	<b>405,746</b>	<b>414,334</b>	<b>131,727</b>	<b>162,045</b>	<b>317,885</b>	<b>169,432</b>	<b>2,028</b>	<b>198,499</b>
<b>41100 Legislative</b>								
104 Part-Time Salaries (Council)	13,400	12,900	12,800	13,000	19,200	19,200	9,600	19,200
105 Part-Time Salaries (Planning Commission)	2,580	2,880	3,180	3,180	3,180	3,200	1,590	3,180
107 Part-Time Salaries (Park & Rec Commission)	3,165	2,980	3,180	3,180	3,180	3,200	1,590	3,180
122 FICA & Medicare	1,464	1,436	1,466	1,481	1,956	1,969	978	1,966
331 Travel Expenses	998	1,086	2,543	2,766	3,143	2,500	1,078	3,000
332 Training and Conferences	1,004	928	3,625	788	1,523	1,500	823	1,500
430 Miscellaneous	856	545	214	289	1,221	500	32	500
433 Dues and Subscriptions	6,394	6,685	6,990	4,270	9,605	10,000	9,182	10,000
<b>Total Legislative</b>	<b>29,862</b>	<b>29,439</b>	<b>33,998</b>	<b>28,955</b>	<b>43,006</b>	<b>42,069</b>	<b>24,874</b>	<b>42,526</b>
<b>41310 City Administrator</b>								
101 Full Time Employees Regular	68,392	72,378	77,533	80,009	84,751	79,375	32,755	81,752
103 Part-Time Salaries	24,344	26,124	27,684	25,229	25,605	25,882	13,669	35,328
121 PERA	6,726	7,069	7,674	7,643	7,827	7,894	3,917	8,781
122 FICA & Medicare	7,258	7,749	8,206	8,007	8,325	8,052	4,108	8,957
131 Employer Paid Insurance	3,229	3,437	3,213	3,955	5,074	5,200	360	4,181
331 Travel Expenses	1,017	1,799	2,022	455	959	2,000	8	1,500
332 Training and Conferences	1,561	646	805	964	654	1,800	463	1,500
430 Miscellaneous	88	187	-	234	156	200	255	200
433 Dues and Subscriptions	1,938	2,037	(2,620)	6,557	2,077	2,100	170	2,100
<b>Total City Administrator</b>	<b>114,553</b>	<b>121,427</b>	<b>124,517</b>	<b>133,054</b>	<b>135,429</b>	<b>132,503</b>	<b>55,704</b>	<b>144,299</b>

**Year 2019 General Fund Operating - General Fund Expenses**

2013 Actual   2014 Actual   2015 Actual   2016 Actual   2017 Actual   2018 Budget   thru Jun 30, 2018   2019 Budget

41400 City Clerk - Finance									
101	Full Time Employees	55,320	55,640	63,690	51,516	51,313	67,536	27,831	70,524
102	Overtime	722	640	254	-	4	2,026	17	2,116
121	PERA	3,884	4,026	4,531	3,588	3,740	5,217	2,313	5,448
122	FICA & Medicare	3,913	4,140	4,747	3,655	3,820	5,321	2,291	5,557
131	Employer Paid Insurance	11,447	11,302	11,198	7,426	8,399	9,000	6,096	13,273
150	Worker's Comp (GENERAL)	9,191	13,644	15,303	7,967	14,214	17,850	14,199	18,921
200	Office Supplies (GENERAL)	3,014	2,827	2,963	1,837	2,327	2,200	1,329	2,480
301	Auditing and Acct'g Services	10,930	7,109	9,283	34,876	30,864	10,850	9,272	9,450
306	Bank Charges	(70)	41	(85)	492	438	500	218	500
310	Information Technology	5,427	5,094	8,859	7,548	10,668	9,275	6,453	11,550
311	Optic Fiber Maint/Lease	855	855	855	855	855	1,000	-	1,000
321	Telephone	2,660	2,941	3,616	3,565	3,566	3,000	1,590	2,800
322	Postage	4,557	4,500	4,820	5,224	4,041	4,500	1,067	4,500
326	Cell Phones	-	-	634	742	831	1,000	323	1,463
331	Travel Expenses	1,377	1,765	784	384	326	1,500	637	1,000
332	Training and Conferences	520	591	1,080	21	20	1,200	478	1,200
351	Legal Notices Publishing	5,074	3,262	5,335	5,996	3,287	9,000	3,065	7,200
429	Contributions	-	-	-	-	470	680	-	700
430	Miscellaneous	83	600	1,311	111	3,535	1,000	218	1,000
431	Refunds & Reimbursement	-	-	-	-	-	-	50	-
433	Dues and Subscriptions	490	460	623	440	701	600	714	1,000
576	Copier	4,378	2,901	2,923	2,518	3,080	3,200	1,163	3,200
590	Codification	747	329	766	1,953	569	1,600	351	1,200
Total City Clerk - Finance		124,521	122,667	143,491	140,712	147,247	158,055	79,677	166,081
41410 Elections									
103	Part-Time Salaries	-	3,635	-	3,839	-	4,800	-	-
210	Operating Supplies (GENERAL)	-	230	275	97	-	500	-	-
300	Professional Services	-	973	-	403	-	1,000	343	-
331	Travel Expenses	-	489	-	216	-	500	-	-
560	Furniture and Fixtures	-	-	-	-	-	-	-	-
Total Election		-	5,328	275	4,555	-	6,800	343	-

**Year 2019 General Fund Operating - General Fund Expenses**

2013 Actual   2014 Actual   2015 Actual   2016 Actual   2017 Actual   2018 Budget   thru Jun 30, 2018   2019 Budget

41550 Assessing									
300	Professional Services	21,559	22,563	27,952	28,913	30,055	31,500	30,894	32,445
Total Assessing		21,559	22,563	27,952	28,913	30,055	31,500	30,894	32,445
41600 Professional Services									
300	Professional Services (GENERAL)	8,464	26,564	17,737	12,746	16,595	20,000	13,377	18,000
301	Auditing and Acct'g Services	-	-	-	-	-	22,750	11,781	26,880
303	Engineering Fees	120,574	94,243	150,855	129,043	84,389	115,000	16,906	105,000
304	Legal Fees	72,931	88,496	82,036	105,932	56,144	85,000	28,960	75,000
305	Consultant Planner	77,443	96,073	112,708	123,634	53,406	35,000	21,809	25,000
Total Professional Services		279,413	305,375	363,337	371,355	210,535	277,750	92,832	249,880
41940 General Government Buildings									
210	Operating Supplies	2,601	3,099	2,898	1,431	1,045	3,500	740	2,500
300	Other Professional Services	644	838	858	1,015	706	1,000	137	1,000
321	Telephone	136	-	-	-	-	-	-	-
381	Electric Utilities	-	-	-	-	-	27,100	9,253	22,000
383	Gas Utilities	11,534	15,736	10,853	12,120	10,892	15,000	8,760	12,000
384	Garbage & Refuse Disposal	4,533	5,139	3,182	1,603	1,961	2,000	570	2,000
401	Repair/Maint	5,771	9,250	8,668	10,905	11,585	9,500	2,113	9,500
406	Cleaning / Janitorial	13,730	12,710	13,745	12,272	12,240	15,000	3,244	9,240
510	Land	-	-	-	-	1,400	-	-	-
515	Library	3,257	2,414	3,097	4,354	4,160	3,500	5,657	16,600
520	Buildings and Structures	-	-	232	30	-	-	-	-
Total General Government Buildings		42,206	49,185	43,531	43,730	43,988	76,600	30,475	74,840

Year 2019 General Fund Operating - General Fund Expenses

2013 Actual 2014 Actual 2015 Actual 2016 Actual 2017 Actual 2018 Budget thru Jun 30, 2018 2019 Budget

42000 Police									
101	Full-Time Employees Regular	152,325	204,702	211,821	231,200	293,445	342,735	141,609	389,488
102	Overtime	5,584	6,060	4,663	9,090	8,127	11,996	6,201	13,632
103	Part-Time Salaries	29,859	34,027	40,858	46,563	39,122	36,954	24,567	36,161
121	PERA	26,089	35,164	36,804	42,718	52,545	63,453	26,085	74,458
122	FICA & Medicare	2,931	4,395	5,220	5,240	5,793	5,679	3,491	6,370
131	Employer Paid Insurance	18,845	26,169	26,660	41,058	45,442	57,600	24,651	64,479
200	Office Supplies (GENERAL)	762	43	84	293	20	500	79	500
201	Community Events Expense	622	735	286	150	392	800	499	800
205	Alcohol Testing Equipment	152	195	150	107	63	300	-	300
206	Scott County Transportation Detox	-	67	-	-	-	200	-	200
209	Office Equipment	-	109	52	-	-	400	-	400
210	Operating Supplies (GENERAL)	369	679	469	336	381	800	-	800
212	Motor Fuels	12,734	14,883	9,495	8,842	11,793	15,000	3,761	12,500
213	Car Maintenance & Repairs	7,134	10,928	4,170	3,591	10,848	4,000	2,790	4,000
215	Shop Supplies	74	-	-	-	39	100	-	100
217	Uniforms	2,538	2,595	968	4,581	1,990	5,000	434	2,700
221	Equipment Vehicle	309	101	553	460	141	500	-	500
228	Communication Repairs	1,077	-	-	180	-	-	-	-
230	Car Communication Computer	2,196	1,816	2,143	1,556	1,080	2,500	270	2,500
300	Professional Services (GENERAL)	-	-	219	950	-	-	-	-
301	Auditing and Accounting Services	-	-	-	7,517	6,701	-	-	-
310	Information Technology	3,033	280	3,797	5,803	9,034	6,625	5,973	8,400
311	Optic Fiber Maint/Lease	-	-	-	-	-	-	-	2,200
321	Telephone / Office Phones	975	894	849	1,019	1,041	1,200	524	1,120
322	Postage	91	138	13	-	-	300	-	200
323	Radio Units	-	183	182	97	-	400	-	200
326	Cell Phones	1,634	2,807	2,872	3,382	3,784	4,500	1,455	5,625
327	Fax / DSL	1,419	1,400	1,444	1,791	1,879	2,000	932	-
329	Car Phones	216	230	-	-	-	-	-	-
331	Travel Expenses	170	277	521	603	808	800	389	1,000
332	Training and Conferences	1,831	3,069	3,639	4,469	4,196	5,400	2,674	7,000
401	Repairs/Maint	8	-	-	-	-	-	-	-
430	Miscellaneous (GENERAL)	404	2,312	798	1,599	1,726	1,500	361	1,500
433	Dues and Subscriptions	770	510	705	875	275	1,000	448	1,000
436	Towing Charges	364	199	194	1,716	597	500	690	500
490	Community Programs	-	-	330	449	-	-	217	-
576	Copier	202	235	291	454	203	300	68	300
580	Officer Equipment	585	1,432	1,677	1,160	608	1,200	217	1,500
741	Weapons Firearms	315	-	71	-	-	-	-	-
742	Less Lethal Weapons Supplies	165	340	592	756	466	1,000	873	900
743	Ammunition	376	1,034	255	604	1,181	1,000	1,006	1,500
744	Gun Supplies & Cleaning	-	-	-	21	-	100	-	-
Total Police		276,155	358,007	362,843	429,230	503,720	576,342	250,265	642,834
42100 Public Safety									
251	Warning Sirens	-	1,340	2,749	3,538	7,859	3,000	1,891	3,000
252	Animal Control Contract	11,780	13,884	13,958	14,010	14,148	14,500	5,844	14,500
317	Code Enforcement	599	889	225	-	632	1,500	-	1,500
746	Joint Scott Training Facility	5,332	5,332	5,332	5,332	5,332	5,500	5,332	5,500
747	Prosecution Services SJPA/SCAO	20,452	20,639	17,953	18,736	17,821	15,000	3,765	15,000
Total Public Safety		38,162	42,084	40,217	41,616	45,792	39,500	16,832	39,500

Year 2019 General Fund Operating - General Fund Expenses

2013 Actual 2014 Actual 2015 Actual 2016 Actual 2017 Actual 2018 Budget thru Jun 30, 2018 2019 Budget

42400 Community Development									
101	Full-Time Salaries	-	-	-	1,552	53,475	47,677	27,504	56,088
102	Overtime	-	-	-	-	-	-	1,748	-
103	Part-Time Salaries	-	-	-	-	-	-	-	11,648
121	PERA	-	-	-	180	3,939	3,576	2,118	4,207
122	FICA / Medicare	-	-	-	18	3,868	3,647	2,287	5,182
131	Employer Paid Insurance	-	-	-	60	10,041	12,000	5,870	11,135
299	Bldg. Inspection Fees	93,173	82,179	56,734	65,273	49,872	26,245	34,123	27,839
302	Mn. State Surcharge Fee	5,829	5,533	2,171	2,479	3,596	1,975	600	2,095
433	Dues and Subscriptions	-	-	-	-	-	500	-	500
Total Building Inspections		99,001	87,712	58,905	69,562	124,791	95,620	74,249	118,694
43000 Public Works									
101	Full-Time Salaries	44,693	47,243	61,663	62,046	60,757	77,059	32,261	80,586
102	Overtime	1,356	2,487	852	808	836	2,697	1,706	2,821
103	Part-Time Salaries	24,489	22,041	8,036	14,415	15,268	16,232	3,299	16,959
108	On Call	1,559	1,554	2,020	2,083	2,080	1,875	869	3,125
109	Call Back	322	198	304	359	522	375	100	550
121	PERA	4,220	4,526	4,686	4,597	4,359	7,199	3,003	7,527
122	FICA / Medicare	5,249	5,459	5,273	5,629	5,646	7,343	3,121	7,678
131	Employer Paid Insurance	7,890	14,468	16,753	15,757	16,256	28,000	7,787	16,764
200	Office Supplies	55	-	-	-	-	-	-	-
210	Operating Supplies	907	1,611	2,080	2,216	2,003	3,400	952	2,000
212	Motor Fuels	9,488	12,132	9,275	9,042	7,878	12,960	7,135	14,250
217	Uniforms	292	225	790	494	797	1,008	266	680
224	Street Maint Materials	-	181	1,970	-	-	-	-	-
226	Sign Materials	857	2,890	388	381	2,517	3,000	260	3,000
240	Small Tools and Minor Equip	3,906	2,758	3,586	2,155	3,269	3,000	1,317	3,000
241	Large Tools and Equipment	4,493	4,883	5,091	2,224	6,020	5,200	2,346	5,200
303	Engineering Fees	-	-	-	7,936	22,743	-	14,034	-
317	Code Enforcement	-	486	-	-	-	-	-	-
326	Cell Phones	2,011	2,475	1,159	1,410	1,633	1,500	485	1,350
331	Travel Expenses	102	166	-	3	68	200	-	200
332	Training and Conferences	544	590	30	26	134	1,000	100	1,000
381	Electric Utilities	61,555	68,520	56,661	63,990	53,729	69,984	31,010	69,300
385	Solid Waste/Recycling	8,027	7,462	6,171	8,930	6,261	6,700	6,545	6,500
404	Fleet Maintenance & Equipment Repairs	10,124	14,240	17,371	16,917	20,715	17,280	8,998	19,200
415	Other Equipment Rental	-	147	1,397	50	-	-	-	-
416	Equipment & Machinery Rental/Lease	1,165	368	-	-	-	-	-	-
430	Miscellaneous	-	57	1,927	861	60	500	60	500
433	Dues & Subscriptions	116	107	110	79	166	200	84	200
531	Street Sweeping	1,624	-	2,250	-	-	-	-	-
532	Dust Control	2,111	4,379	6,890	6,616	7,899	8,000	-	8,000
535	Street Repair & Maint	21,480	27,442	28,084	27,485	16,824	30,000	11,094	30,000
540	Snow Removal Services	51,661	25,273	-	-	-	-	-	-
541	Deicing Materials	28,667	16,363	15,173	20,564	15,609	30,000	16,856	25,000
720	Operating Transfer	-	-	-	156,451	-	-	-	-
Total Public Works		298,959	290,732	259,987	433,522	274,049	334,712	153,688	325,390

**Year 2019 General Fund Operating - General Fund Expenses**

2013 Actual   2014 Actual   2015 Actual   2016 Actual   2017 Actual   2018 Budget   thru Jun 30, 2018   2019 Budget

45000 Parks & Grounds Maintenance									
101	Full-Time Salaries	38,198	40,707	53,905	54,112	52,396	68,555	28,208	71,565
102	Overtime	1,356	1,776	852	808	836	2,399	1,706	2,505
103	Part-Time Salaries	20,151	28,036	26,492	31,235	32,338	33,487	12,866	37,183
108	On Call	1,122	1,119	1,454	1,499	1,498	1,350	626	2,250
109	Call Back	322	198	304	359	522	270	100	396
121	PERA	4,298	4,348	5,480	5,235	5,160	7,833	3,362	8,344
122	FICA & Medicare	4,406	5,361	6,081	6,291	6,301	7,990	3,538	8,511
131	Employer Paid Insurance	13,433	9,544	14,999	14,053	14,524	21,000	6,850	14,940
216	Chemicals and Chem Products	2,587	2,672	1,111	1,555	1,428	3,000	873	3,500
331	Travel Expenses	-	-	-	-	-	200	-	300
332	Training & Conferences	8	70	-	498	-	750	8	1,500
379	Portable Bathrooms	3,702	3,790	4,120	6,003	5,240	4,500	1,490	5,000
381	Electric Utilities	638	1,076	740	914	744	1,100	445	1,100
384	Refuse/Garbage Disposal	1,290	1,412	1,311	1,215	1,425	1,500	514	1,600
401	Repairs/Maint	4,240	9,090	7,161	4,960	6,853	8,000	3,221	8,000
430	Miscellaneous	629	45	42	85	43	500	73	500
433	Dues and Subscriptions	489	-	494	-	397	800	450	500
825	Recreation Program	-	6,402	5,187	10,055	4,318	8,000	1,873	6,500
Total Parks & Grounds Maintenance		96,868	115,647	129,734	138,877	134,022	171,234	66,202	174,194
45500 Unallocated									
361	General Liability Insurance	23,897	27,540	30,516	26,868	26,019	21,500	20,604	21,672
369	Insurance Claim	1,258	-	581	-	-	2,500	-	2,500
Total Unallocated		25,155	27,540	31,097	26,868	26,019	24,000	20,604	24,172
??? General Fund Reserves									
	General Fund Reserves/Contingency	51,076	(36,913)	-	-	-	1,591	-	67,001
Total General Fund Reserves		51,076	(36,913)	-	-	-	1,591	-	67,001
<b>Total General Fund Expenditures</b>		<b>1,903,236</b>	<b>1,955,127</b>	<b>1,751,610</b>	<b>2,052,993</b>	<b>2,036,539</b>	<b>2,137,708</b>	<b>898,666</b>	<b>2,300,354</b>

**5 Year Capital Outlay Summary (2019) Updated Reserve Balances**

Office Equipment		501-41000-500								
Purchase Year	Item Description	Estimated Cost	Total Reserve 12/31/2017	Prior Year 2018	Total Reserve 6/30/2018	Current Year 2019	Future Years			
							2020	2021	2022	2023
	Information Technology		79,125	5,000	64,621	8,000	11,000	14,000	17,000	20,000
	Office Furniture		1,833	1,000	2,333	1,000	1,000	1,000	1,000	1,000
	Accounting System		3,000	1,000	3,500	1,000	1,000	1,000	1,000	1,000
	Misc. New Equipment		512	250	1,285	250	250	250	250	250
Total			84,469	7,250	71,739	10,250	13,250	16,250	19,250	22,250

Elections		501-41410-500								
Purchase Year	Item Description	Estimated Cost	Total Reserve 12/31/2017	Prior Year 2018	Total Reserve 6/30/2018	Current Year 2019	Future Years			
							2020	2021	2022	2023
	Election Equipment	7,500	8,808	2,000	9,808	2,000	2,000	2,000	2,000	2,000
Total			8,808	2,000	9,808	2,000	2,000	2,000	2,000	2,000

Buildings		501-41940-500								
Purchase Year	Item Description	Estimated Cost	Total Reserve 12/31/2017	Prior Year 2018	Total Reserve 6/30/2018	Current Year 2019	Future Years			
							2020	2021	2022	2023
	General Maintenance Reserves		215,302	23,000	219,802	27,000	31,000	35,000	35,000	35,000
Total			215,302	23,000	219,802	27,000	31,000	35,000	35,000	35,000

Police		501-42000-500								
Purchase Year	Item Description	Estimated Cost	Total Reserve 12/31/2017	Prior Year 2018	Total Reserve 6/30/2018	Current Year 2019	Future Years			
							2020	2021	2022	2023
	Information Technology		22,008	7,400	8,635	7,400	7,400	7,400	7,400	7,400
	Office Furniture		1,261	250	1,386	250	250	250	250	250
2019	Squad 313 (replace Squad 311)	34,000	34,445	8,500	39,130	8,500	8,500	8,500	8,500	8,500
2021	Squad 314 (replace Squad 310)	34,000		8,250	4,250	8,500	8,500	8,500	8,500	8,500
2023	Squad 315 (replace Squad 312)	34,000		8,250	4,000	8,000	8,000	8,000	8,000	8,000
	Admin Car	20,000	-	2,000	1,000	2,000	2,000	2,000	2,000	2,000
2020	Speed Monitoring Device	10,000	6,416	1,000	6,916	500	500	500	500	500
	Radio Units (Each)	4200/4500	58	3,000	1,558	1,200	1,200	1,200	1,200	1,200
	Officer Safety Equipment	1,200	7,712	1,200	7,270	1,200	2,000	2,000	2,000	2,000
	Firearms		1,911	600	2,211	600	600	600	600	600
	Non-Lethal Weapons		4,619	1,000	(393)	1,000	1,000	1,000	1,000	1,000
	AEDS		3,152	600	252	600	600	600	600	600
	Body and Squad Cameras		-	2,500	1,250	2,500	2,500	2,500	2,500	2,500
	Misc. New Equipment		-	500	550	500	500	500	500	500
Total			81,582	45,050	78,015	42,750	43,550	43,550	43,550	43,550



## 2019 Data Summary

2019 Fire Department Budget	454,715
Less Other Revenues	70,000
<b>2019 Cost Allocation</b>	<b>\$ 384,715</b>

<b>2019 Credits</b>	
Elko New Market	(13,358)
New Market Township	8,310
Cedar Lake Township	5,048

### Five Year Call Total (2013-2017)

Jurisdiction	Calls	% Calls
Elko New Market	601	44.39%
New Market Twp	662	48.89%
Cedar Lake Twp	91	6.72%
Total	1354	100.00%

### Population (US Census Data 2017)

Jurisdiction	Population	% Pop
Elko New Market	4421	48.18%
New Market Twp	3817	41.60%
Cedar Lake Twp	938	10.22%
Total	9176	100.00%

### Number of Structures (2017)

	Structures	% Structures
Elko New Market	1,795	31.39%
New Market Twp	3,146	55.01%
Cedar Lake Twp	778	13.60%
Total	5,719	100.00%

### Weighting of Factors

	Factor Weight
Calls	25%
Population	55%
Structures	20%
Total*	100%

### Allocation Based on Weighted Factors

$((\% \text{ Population} \times 55\%) + (\% \text{ Structures} \times 20\%) + (\% \text{ Calls} \times 25\%)) \times \text{Budget} - \text{Credit} = \text{Allocation}$

	Allocation	%
Elko New Market	\$ 182,144	47.35%
New Market Twp	\$ 169,058	43.94%
Cedar Lake Twp	\$ 33,513	8.71%
Total*	\$ 384,715	100.00%

**Year 2019 Fire Fund Operating - Fire Fund Revenues**

REVENUES

Fire Department

		2012 Actual	2013 Actual	2014 Actual	2015 Actual	2016 Actual	2017 Actual	2018 Budget	Year-to-date thru Jun 30, 2018	Proposed 2019 Budget
42280 Fire Department										
31000	General Property Taxes	96,287	97,059	86,044	93,207	132,952	124,945	184,152	61,072	182,144
32100	Business Licenses	-	126	109	69	379	301	-	-	-
33422	State Fire Aid	35,696	50,600	49,845	54,054	56,098	55,543	45,000	-	45,000
33423	State Police Aid					2,865	-	-	-	-
33424	DNR Forestry Grants					2,000	-	-	-	-
34202	Fire Contracts & Calls	178,308	187,930	199,351	202,161	177,465	221,339	213,826	124,266	202,570
36200	Miscellaneous Revenues	336	-	473	468		387	-	-	-
36210	Interest Earnings	119	99	58	521	(365)	499	-	350	-
36230	Contributions & Donations	20,108	38,337	25,000	250	25,200	25,250	25,000	-	25,000
36240	Refunds and Reimbursements	-	-	11,385	-	1,350	8,299	-	1,582	-
39200	Interfund Operating Transfer	-	-	-			-	-	-	-
39310	Proceeds - Gen Obligation Bond	-	-	-	30,000		-	-	-	-
39945	Miscellaneous Revenues	-	435	-	-		-	-	-	-
Total Fire Department		330,854	374,586	372,265	380,730	397,945	436,563	467,978	187,270	454,715

**Year 2019 Fire Fund Operating - Fire Fund Expenses**

EXPENDITURES

Fire Department

	2013 Actual	2014 Actual	2015 Actual	2016 Actual	2017 Actual	2018 Budget	Year-to-date thru Jun 30, 2018	Proposed 2019 Budget
42280 Fire Department								
101 Full-Time Salaries	4,045	4,111	-	-	-	3,723	215	3,871
102 Overtime	11	39	-	-	-	186	-	194
103 Part-Time Salaries	48,305	54,410	60,195	61,893	72,176	67,172	72,339	69,752
121 PERA	294	297	-	2	276	279	490	893
122 FICA & Medicare	3,984	4,463	4,605	4,735	5,519	5,438	5,550	5,647
124 Fire Pension Contribution	144,368	148,301	157,199	162,931	168,064	162,210	59,074	162,210
131 Employer Paid Insurance	673	683	43	3	48	300	191	423
136 Medical Expense	375	2,065	6,100	2,500	2,514	3,000	739	3,500
150 Worker's Comp (General)	9,644	11,884	11,047	9,643	16,994	22,000	13,396	23,320
200 Office Supplies	63	84	-	-	-	-	-	-
201 Community Events Expense	861	443	-	-	280	700	-	700
210 Operating Supplies (GENERAL)	-	1,302	3,356	1,273	1,181	3,500	325	2,500
212 Motor Fuels	9,145	7,674	4,845	5,096	6,291	9,500	3,070	8,000
217 Uniforms	927	1,920	958	285	1,224	1,000	1,261	1,500
240 Small Tools and Minor Equip	1,278	590	950	5,501	2,999	2,500	1,359	2,500
300 Other Professional Services	-	750	-	3,632	-	5,300	3,788	6,500
304 Legal Fees	1,008	660	757	-	3,263	1,500	1,310	1,500
310 Information Technology	-	-	240	-	374	1,500	-	1,050
323 Radio Units	320	2,135	1,191	2,679	1,664	1,400	748	2,000
326 Cell Phones	-	-	237	330	369	-	-	1,368
331 Travel	-	86	467	-	-	1,000	-	500
332 Training and Instruction	3,078	5,584	4,315	5,203	11,511	6,000	-	7,800
361 General Liability Ins	5,061	6,754	5,095	4,667	5,233	5,000	3,208	3,024
369 Insurance Claim	-	10,385	-	-	-	-	-	-
401 Repairs & Maint	3,715	1,792	2,727	664	6,967	3,500	849	3,500
404 Fleet Maintenance & Equipment Repairs	15,162	10,185	11,644	8,200	18,020	15,000	2,747	15,000
428 Bond Issuance Costs	-	-	22	-	-	-	-	-
430 Miscellaneous	1,469	2,302	554	176	578	1,500	517	1,500
433 Dues and Subscriptions	209	175	113	526	218	300	148	300
600 Debt Service Principal	57,200	33,075	33,075	-	-	103,995	30,000	85,943
610 Debt Service Interest	7,472	5,744	-	568	600	12,855	300	12,422
620 Fiscal Agent Fees	-	-	90	38	16	-	-	-
703 Transfer Out - Capital Outlay	27,120	36,120	-	67,240	28,120	27,620	-	27,300
720 Operating transfers	13,237	-	-	20,317	79,394	-	96,642	-
<b>Total Fire Department</b>	<b>359,025</b>	<b>354,014</b>	<b>309,824</b>	<b>368,110</b>	<b>433,895</b>	<b>467,978</b>	<b>298,265</b>	<b>454,715</b>

**5 Year Capital Outlay Summary (2019) - Fire Dept Capital Outlay Updated Reserve Balances**

Fire Department 503-42280-500 Capital Outlay

Purchase Year	Item Description & Estimated Cost	Estimated Cost	Total Reserve 12/31/2017	Prior Year BUD 2018	Total Reserve 6/30/2018	Current Yr BUD 2019	Future Years			
							2020	2021	2022	2023
	2017 Tanker	150,000	2,809		2,809	-	-	-	-	-
2028	First Response Vehicle (Chief) to replace 2018	50,000	34,210		8,704	-	-	-	-	-
2028	First Response Vehicle (Asst.Chief) to replace 2018	50,000	34,210		2,733	-	-	-	-	-
2023	Pumper to replace 2002	375,000	-		-	-	-	-	-	-
	Small Vehicles and Trailers		19,041	2,500	21,041	1,500	1,500	1,500	1,500	1,500
	Protective Clothing \$2,000 Each		11,726	4,320	16,046	4,000	4,000	4,000	4,000	4,000
	SCBAs \$3,500 Each		10,498	3,000	1,350	3,500	3,500	3,500	3,500	3,500
	Large Tools and Equipment		37,544	5,000	41,544	5,000	5,000	5,000	5,000	5,000
	Radio Equipment		4,067	3,000	10,067	6,000	6,000	6,000	6,000	6,000
	Office Equipment and Furnishings		52	300	352	300	300	300	300	300
	Computer Equipment		27,760	5,000	29,760	2,000	2,000	2,000	2,000	2,000
	General Building and Maintenance		25,473	5,000	30,473	5,000	5,000	5,000	5,000	5,000
	Misc		19,000	-	19,000	-	-	-	-	-
	Interest		1,892		2,637	-	-	-	-	-
	Total		228,282	28,120	186,517	27,300	27,300	27,300	27,300	27,300

**Year 2019 Draft Budget - Bonded Debt Levy**

			2019									
			Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund	
Fund #	Bonded Debt Issue Description	Year Retired	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest
307	2012B Refunding /2003 \$950,000.00 Go RF Street & Water (NM)	2024	10,500	940			35,000	3,413				
318	2011A Refunding (Special Assessments School and Deferred)	2026			65,000	28,625						
318	Fund 318 Deficit Cash	???	40,000									
306/601	2012A Refunding /2000 \$315,000.00 Tower (NM) & 1998 \$145,000 GO Bon	2019	10,500	89								
602	2004A Go Bond Sewer (E) /2012B Refunding	2025							75,000	3,413		
317	2010 GO \$450,000 Library	2032	24,150	12,136								
319	2013A GO Bonds (2013 Trail Project)	2024	4,200	1,100	45,800	8,200						
319	2013A GO Bonds (Public Works Facility)	2028	28,371	14,144			28,586	9,165	28,586	9,165		
319	2013A GO Bonds (Police Garage)	2028	9,457	4,715								
601	2014 PFA Loan (Water Treatment Plant)	2034					499,000	86,080				
320	2015A GO Bonds (CIP Portion & Street Reconstruction)	2026			20,000	4,650						
315	2015B GO Refunding Bonds	2024	52,500	6,576			50,000	6,513			35,000	4,925
	Total		179,679	39,699	130,800	41,475	612,586	105,170	103,586	12,577	35,000	4,925
	Fund Total		219,378		172,275		717,755		116,163		39,925	

All Bonds are Levied at 105%, except:  
 2013A GO Bond Levied at 100% - Debt Service Partially Funded By Capital Projects Fund  
 2015A GO Bond Levied at 100% - Debt Service Funded By Capital Projects Fund

**Year 2019 Draft Budget - Bonded Debt Levy**

2020										2021									
Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund		Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund	
Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest
10,500	814			35,000	2,993					10,500	667			35,000	2,503				
		45,000	25,895									30,000	22,883						
60,000										80,000									
						75,000	7,973									80,000	6,885		
24,150	11,395									25,200	10,638								
		55,000	7,725									55,000	6,075						
29,164	13,281			30,557	8,278	30,557	8,278			29,164	12,406			30,557	7,361	30,557	7,361		
6,637	1,849	3,084	2,578							6,641	1,856	3,080	2,279						
				504,000	81,090									509,000	76,050				
20,000	4,250									27,590	3,750	2,410							
52,500	5,460			50,000	5,450			35,000	4,181	47,250	4,338			45,000	4,381			35,000	3,394
202,952	37,048	103,084	36,198	619,557	97,810	105,557	16,250	35,000	4,181	226,346	33,654	90,490	31,237	619,557	90,295	110,557	14,246	35,000	3,394
240,000		139,282		717,367		121,807		39,181		260,000		121,727		709,852		124,803		38,394	

**Year 2019 Draft Budget - Bonded Debt Levy**

2022										2023									
Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund		Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund	
Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest
10,500	499			40,000	1,900					10,500	315			40,000	1,200				
		15,000	19,505										15,743						
100,000										120,000									
						75,000	5,648									80,000	4,290		
26,250	9,848									26,250	9,042								
		55,000	4,425									60,000	2,700						
38,742	9,373			31,543	6,429	31,543	6,429			38,742	8,211			33,514	5,453	33,514	5,453		
3,008	971	10,137	2,209							1,868		11,277	2,786						
				514,000	70,960									519,000	65,820				
30,000	3,150									30,000	2,550								
47,250	3,216			50,000	3,250			40,000	2,500	52,500	1,969			50,000	2,000			40,000	1,500
255,750	27,056	80,137	26,139	635,543	82,539	106,543	12,077	40,000	2,500	279,860	22,087	71,277	21,228	642,514	74,473	113,514	9,743	40,000	1,500
282,806		106,276		718,082		118,620		42,500		301,947		92,505		716,988		123,258		41,500	

**Year 2019 Draft Budget - Bonded Debt Levy**

2024										2025									
Property	Taxes	Capital	Fund	Water	Fund	Sewer	Fund	Storm	Fund	Property	Taxes	Capital	Fund	Water	Fund	Sewer	Fund	Storm	Fund
Principal	Interest																		
10,500	110			40,000	420														
138,246										138,928									
						85,000	2,678									85,000	893		
27,300	8,220									28,350	7,366								
18,029	900	41,971																	
40,503	7,048			33,514	4,448	33,514	4,448			40,503	5,833			22,671	3,605	22,671	3,605		
13,742	2,391									13,742	1,979								
				525,000	60,630									530,000	55,380				
		30,000	1,913							30,000	1,238								
52,500	656			55,000	688			40,000	500										
300,820	19,325	71,971	1,913	653,514	66,186	118,514	7,126	40,000	500	251,523	16,415	-	-	552,671	58,985	107,671	4,498	-	-
320,145		73,884		719,700		125,640		40,500		267,938		-		611,657		112,169		-	

**Year 2019 Draft Budget - Bonded Debt Levy**

2026										2027									
Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund		Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund	
Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest
144,408																			
29,400	6,479									30,450	5,561								
54,514	6,675			22,671	2,897	22,671	2,897			54,514	4,940			23,657	2,144	23,657	2,144		
18,171	2,225									18,171	1,647								
				534,000	50,080									540,000	44,740				
30,000	900																		
276,494	16,279	-	-	556,671	52,977	22,671	2,897	-	-	103,136	12,148	-	-	563,657	46,884	23,657	2,144	-	-
292,773		-		609,648		25,568		-		115,283		-		610,541		25,801		-	



**Year 2019 Draft Budget - Bonded Debt Levy**

2030										2031									
Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund		Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund	
Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest
33,600	2,611									33,600	1,580								
				556,000	28,380									562,000	22,820				
33,600	2,611	-	-	556,000	28,380	-	-	-	-	33,600	1,580	-	-	562,000	22,820	-	-	-	-
36,211		-	-	584,380		-	-	-	-	35,180		-	-	584,820		-	-	-	-

**Year 2019 Draft Budget - Bonded Debt Levy**

2032										2033									
Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund		Property Taxes		Capital Fund		Water Fund		Sewer Fund		Storm Fund	
Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest
16,089	532																		
				568,000	17,200									574,000	11,520				
16,089	532	-	-	568,000	17,200	-	-	-	-	-	-	-	-	574,000	11,520	-	-	-	-
16,621		-		585,200		-		-		-		-		585,520		-		-	



**CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA**

**RESOLUTION 18-64**

Date: September 27, 2018

Resolution No. 18-64

Motion By: \_\_\_\_\_

Second By: \_\_\_\_\_

**RESOLUTION APPROVING 2019 PRELIMINARY BUDGET**

**NOW, THEREFORE, BE IT RESOLVED** by the council of the City of Elko New Market, Minnesota, that the preliminary General Fund, Capital Outlay, Community Events, Fire Department, Bonded Debt, Interfund Loans and Equipment Certificate Debt budget for 2019 are hereby adopted.

This Resolution hereby adopted at a regular City Council meeting on Thursday, September 27, 2018.

\_\_\_\_\_  
Robert Crawford, Mayor

ATTEST:

\_\_\_\_\_  
Sandra Green, City Clerk

**CITY OF ELKO NEW MARKET  
SCOTT COUNTY, MINNESOTA**

**RESOLUTION 18-65**

Date: September 27, 2018

Resolution No. 18-65

Motion By: \_\_\_\_\_

Second By: \_\_\_\_\_

**RESOLUTION 18-65 APPROVING 2018 TAX LEVY, COLLECTIBLE IN 2019**

**NOW, THEREFORE, BE IT RESOLVED** by the council of the City of Elko New Market, Minnesota, that the following sums of money be levied for the current year, collectible in 2019 upon taxable property in the City of Elko New Market, for the following purposes:

GROSS CERTIFIED GENERAL REVENUE:	\$ <u>2,345,701</u>
PROPERTY TAX AID (LGA):	\$ <u>(226,551)</u>
BOND DEBT:	\$ <u>219,378</u>
NET CERTIFIED TOTAL LEVY:	\$ <u>2,338,528</u>

The City Clerk is hereby instructed to submit a certified copy of this resolution to the County Auditor of Scott County, Minnesota.

This Resolution hereby adopted at a regular City Council meeting on Thursday, September 27, 2018.

\_\_\_\_\_  
Robert Crawford, Mayor

ATTEST:

\_\_\_\_\_  
Sandra Green, City Clerk

ATTEST:

\_\_\_\_\_  
I do hereby certify that this statement is correct to the best of my knowledge and belief, this 27 day of September 2018.



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Authorize Hire of Part-time Finance Director
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Thomas Terry, City Administrator
<b>REQUESTED ACTION:</b>	Authorize Hire of Part-time Finance Director and Approve Employment Agreement

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

## **BACKGROUND**

In January of 2016, the City Council approved an Agreement for Financial Management Services between the City of Elko New Market and AEM Financial Solutions LLC. Under the Scope of Services, AEM assumed the responsibility for the majority of finance duties assigned to the Deputy Clerk – Finance following their separation from the City. The proposal provided for an initial six month term that would renew for an additional six months and annually for two years thereafter. The intent was that the scope of services could be revised, if the City hired internal accounting staff.

In June of 2017, the Council approved a revised Agreement as a result of the additional time required by the City for accounting services. AEM sought additional compensation for the unanticipated additional time to provide services. The request was initially placed on hold during the ongoing City Accountant recruitment process with the intent that an adjustment related to cost and services would be made as part of the revised scope of services following the hire of the internal position. However, the recruitment process took longer than anticipated and AEM has moved forward with the request.

In 2018, following the hire of the Accountant position, staff began discussions with AEM regarding a revised scope of services to reflect the hire of the Accountant. In June, AEM notified the City that they would be exercising the 120 day termination clause in the current agreement and that they would continue to work with the city until October 1, 2018.

With the resignation of the Accountant effective July 24, 2018, AEM agreed to provide support until the vacant position is filled. The accounting services included a financial person from AEM being at City Offices one day each week. The revised scope was approved by the City Council in June.

## **DISCUSSION:**

Upon receipt of the notice from AEM regarding discontinuation of services, staff began researching options for financial management services. The two primary scenarios were consulting services (similar to those provided by AEM) and recruiting a retired senior municipal finance individual (e.g. Finance Director, etc.). In evaluating these scenarios, it was found that the options are limited. Eventually, the options were reduced to retaining CLA (Clifton Larson Allen and hiring retired Finance Director Al Rolek on a part-time basis.

CLA is an accounting firm that offers municipal services, including financial management services. CLA provided an initial proposal for a scope of services similar to AEM for financial management for a monthly fee of \$6,500 or \$78,000 annually.

Staff is proposing to hire Al Rolek as the part-time Finance Director. The position responsibilities would be similar to the scope of services in the CLA proposal and those currently provided by AEM. Staff believes him to be well qualified for the position. Rolek has 40 years of experience in the municipal finance field.

Rolek received a BA degree in Finance and Public Administration from Metropolitan State University, and has completed course work in the Master of Arts in Public Administration (MAPA) program at Hamline University. Continuing education has included attending the GFOA Advanced Government Finance Institute, attending seminars and conferences at the state and national level, and special training opportunities. He was also active in associated

professional associations, serving as Chair of several standing committees for the Minnesota Government Finance Officers Association (MnGFOA), and as president of the Association in 2000. Rolek has also served several years on the Treasury and Investment Management Committee for the Government Finance Officers Association of the United States and Canada (GFOA) as a sub-committee chair and ex-officio member. He served a three-year term as a member of the Executive Committee of the GFOA from 2006 – 2009. Rolek worked for five communities during his career:

City of River Falls, WI – Finance Director  
City of Brooklyn Park – Director of Finance  
City of Lino Lakes – Director of Finance  
City of Shorewood – Finance Director  
City of Falcon Heights – Finance Manager

Staff is recommending that the City Council authorize the hire of a part-time Finance Director and approve an Employment Agreement between the City of Elko New Market and Al Rolek.

**BUDGET IMPACT:**

The current draft budget includes \$76,800 for consulting financial management services. The estimated expense for the part-time Finance Director position is \$43,200, which would be allocated similarly through the various funds. This estimate is based on the following assumptions:

- Average of 10-15 hours per week
- Placement within the City's Salary Schedule at Grade 16 at Step 8 (top step)
- No benefits or pension expense
- Mileage reimbursement for travel to and from work (estimated to be 4 times per month)

The budget will need to be revised to reflect the anticipated expenses.

**EMPLOYMENT AGREEMENT  
BETWEEN THE CITY OF ELKO NEW MARKET  
AND AL ROLEK**

**THIS EMPLOYMENT AGREEMENT** (“Agreement”) is made as of the 27<sup>th</sup> day of September, 2018, by and between **AL ROLEK** (the “**Employee**”) and the **CITY OF ELKO NEW MARKET**, a Minnesota municipal corporation (the “**City**”).

The parties to this Agreement agree as follows:

**1. POSITION.** The City agrees to employ Employee as its Finance Director on a part-time basis. Employee agrees to serve as Finance Director. At all times during the performance of this Agreement, Employee shall adhere to all rules and regulations established by the City for the conduct of its employees. Employee shall not work more than 40 hours per week and shall provide services only on an “as needed” basis and at the direction of the City Administrator. The Employee will report the number of hours worked on a weekly basis.

**2. TERM.** The City hereby retains the Employee commencing October 1, 2018. Nothing in this Agreement shall prevent, limit or otherwise interfere with the right of the City to terminate the services of Employee at any time, for any reason, subject only to the provisions of this Agreement. Furthermore, nothing in this Agreement shall prevent, limit or otherwise interfere with the right of Employee to resign at any time from his position with City, subject only to the provisions of this Agreement.

**3. COMPENSATION.** The City shall compensate the Employee pursuant to the City’s salary schedule at Grade 16, Step 8 as attached as Exhibit A. Employee shall receive any future COLA adjustments made for non-union employees.

The Employee’s compensation shall be subject to federal and state income tax withholding deductions, FICA and Medicare deduction. The Employee’s compensation will not be subject to deductions for PERA. The position of the Employee shall not be eligible for cash overtime or compensatory time in lieu of overtime.

**4. BENEFITS/REQUIREMENTS.** The Employee shall not be eligible for, nor shall Employee receive any fringe benefits from the City, except as enumerated in this Agreement. Therefore, by way of example and without limitation, the Employee shall not be eligible for group insurance benefits, sick leave, severance, or City retirement benefits.

**5. REIMBURSED EXPENSES.** The City will reimburse Employee for reasonable and necessary job-related expenses, as allowed for all City employees. In addition, Employee shall be entitled reimbursement of mileage for travel time between home and work as necessitated by Employee’s job duties, and as otherwise provided and pursuant to the City’s policy concerning mileage reimbursement.

**6. HOURS OF WORK.** It is anticipated that the Employee will work less than 20 hours per week. The Employee is authorized to work remotely per authorization from the City Administrator, which hours will be reported weekly to the City

**7. INDEMNIFICATION.** The City shall defend and indemnify Employee pursuant to Minn. Stat. § 466.07 and § 465.76. In addition, the City shall defend, hold harmless, and indemnify Employee from all torts; civil damages, penalties, and fines; violation of statutes, laws, rules, and ordinances, provided the Employee was acting in the performance of the duties of the position.

**CITY:**  
**CITY OF ELKO NEW MARKET**

BY: \_\_\_\_\_  
Bob Crawford, Mayor

AND \_\_\_\_\_  
Sandra Green, City Clerk

**EMPLOYEE:**  
  
\_\_\_\_\_  
Al Rolek

## EXHIBIT A

### 2018 Salary Schedule

Pts	Grade	Step															
		1		2		3		4		5		6		7		8	
		Annual	Hourly	Annual	Hourly												
0	44	1	30,955.11	14.88	31,883.75	15.33	32,825.48	16.26	33,840.25	16.75	34,885.48	17.25	35,962.02	17.71	38,070.88	18.30	
45	87	2	33,121.96	15.92	34,115.62	16.40	35,193.27	17.40	37,279.07	17.92	38,397.43	18.46	39,548.35	19.01	40,735.84	19.58	
68	92	3	35,440.50	17.04	36,503.71	17.55	37,726.79	18.02	38,988.60	18.18	41,085.25	19.75	42,317.81	20.31	43,587.35	20.90	
93	117	4	37,921.34	18.20	39,058.37	18.78	41,437.67	19.32	42,680.79	20.52	43,961.23	21.14	45,280.00	21.77	46,638.46	22.42	
118	144	5	40,575.83	19.51	41,793.11	20.08	44,338.31	21.32	44,863.00	21.58	47,038.51	22.01	48,469.66	23.29	49,903.16	23.99	
145	173	6	43,416.13	20.87	44,718.63	21.50	47,441.89	22.81	48,665.24	23.49	50,331.21	24.20	51,841.14	24.92	53,390.37	25.67	
174	204	7	46,455.27	22.33	47,848.83	23.00	50,762.92	24.41	52,285.82	25.14	53,854.38	25.89	55,476.01	26.67	57,134.13	27.47	
202	237	8	49,707.14	23.90	51,198.35	24.61	54,316.33	26.11	55,845.82	26.90	57,624.19	27.70	59,352.82	28.54	61,133.51	29.39	
238	272	9	53,186.64	25.57	54,782.24	26.34	58,118.47	27.94	59,862.03	28.78	61,657.89	29.64	63,507.63	30.53	65,412.85	31.45	
273	309	10	56,909.70	27.30	58,616.99	28.18	62,186.74	29.90	64,052.37	30.78	65,973.84	31.72	67,953.16	32.63	69,981.75	33.60	
310	348	11	60,893.38	29.28	62,720.18	30.15	66,539.83	31.99	68,536.03	32.95	70,592.12	33.94	72,708.88	34.90	74,891.18	36.01	
350	392	12	65,156.92	31.32	67,110.60	32.26	71,197.63	34.23	73,333.55	35.26	75,533.57	36.31	77,789.58	37.46	80,133.56	38.53	
392	438	13	69,716.83	33.52	71,808.33	34.52	76,181.46	36.63	78,466.91	37.72	80,820.91	38.86	83,245.54	40.02	85,742.91	41.22	
438	487	14	74,597.01	35.80	76,534.92	36.94	81,514.16	39.19	83,858.59	40.37	86,478.38	41.58	89,072.72	42.80	91,744.91	44.11	
488	539	15	79,818.80	38.37	82,213.36	39.53	87,220.16	41.93	89,836.77	43.19	92,531.80	44.49	95,307.82	45.80	98,167.06	47.20	
540	596	16	85,406.11	41.00	87,968.29	42.29	93,225.56	44.87	96,125.33	46.21	99,008.10	47.00	101,979.37	49.00	105,038.75	50.50	
597	658	17	91,384.55	43.91	94,120.68	45.25	99,858.10	48.01	102,854.10	49.45	105,938.73	50.93	109,117.03	52.40	112,391.47	54.03	
659	725	18	97,781.47	47.01	100,714.80	48.42	106,848.44	51.37	110,053.89	52.91	113,355.52	54.50	116,756.17	56.13	120,258.86	57.83	
720	797	19	104,626.16	50.30	107,764.95	51.81	114,327.83	54.97	117,757.67	56.61	121,380.39	58.31	124,928.11	60.00	128,676.98	61.86	
798	874	20	111,950.00	53.82	115,308.56	55.44	122,330.78	58.81	126,000.70	60.58	129,495.77	61.78	133,674.15	64.27	137,684.37	66.19	



# STAFF MEMORANDUM

<b>SUBJECT:</b>	Planning Commissioner Resignation
<b>MEETING DATE:</b>	September 27, 2018
<b>PREPARED BY:</b>	Thomas Terry, City Administrator
<b>REQUESTED ACTION:</b>	Accept Commissioner Thompson's resignation and authorize staff to contact applicant(s) to determine interest in appointment to the City's Planning Commission.

## COMMUNITY VISION:

- A mature growing freestanding suburb of the Twin Cities Metropolitan Area, preserving historic landmarks and small town character while providing suburban amenities and services, as well as full range of employment, housing, business, service, social, technology infrastructure and recreational opportunities for citizens and visitors
- Promote a diverse commercial base including light industrial and facilitating planned redevelopment which will be aesthetically pleasing with architectural standards that promotes quality development
- Provide a full range of municipal services to its residents. The City will allocate sufficient resources to meet the growing needs of the community
- A comprehensive park and trails system that will have sufficient facilities, play fields and open space to meet the needs of residents
- An effective and efficient transportation system, including access to the greater metropolitan area, transit opportunities, and improved connectivity to the interstate
- Provide community oriented local government and be financially sound, engaging in long-term financial planning to provide municipal services without undue burden on tax payers

## 5 YEAR GOALS:

- Diverse tax base, employment opportunities, additional businesses and services, promote high quality broad spectrum of residential development
- Advance "shovel ready" status of areas guided for commercial and industrial development
- Acquisition of land for public purposes, position City to take advantage of land acquisition opportunities
- Enhance quality of life through parks, trails, recreational programming and cultural events
- The development of residential lots and an increase in residential building permit activity

## COMMUNITY ORIENTED LOCAL GOVERNMENT:

- Community Involvement
- Organizational Improvement
- Problem Solving
- Performance Measurement
- Professionalism

**BACKGROUND:**

Planning Commissioner Steve Thompson has submitted his resignation from the Planning Commission effective September 26, 2018. With the resignation of Commissioner Thompson, a vacancy has been created on the Planning Commission. Commissioner Thompson's term expires on March 31, 2021.

The Council may recall that another vacancy on the Planning Commission was declared in April of 2018 and a selection committee consisting of Councilmember Timmerman, Chair Thompson, and Community Development Specialist Christianson was established. The position was advertised via Facebook, Twitter, the City Newsletter, Nextdoor and the electronic sign in front of city hall. Five applications were received and all five applicants were interviewed on July 30, 2018. One applicant was subsequently appointed to the Commission.

The selection committee has recommended that the vacancy be filled from the most recent candidate pool, should the preferred candidates still be interested in the position. The Council is being asked to accept Commissioner Thompson's resignation with regrets, declare a vacancy on the Planning Commission, and authorize staff to contact the next preferred applicants to determine if they are still interested in appointment to the City's Planning Commission. Based on selection committee discussion in July, the top remaining candidate is Melissa Lynn Hartwell Hanson and followed by applicant Benjamin Luebbert. Should the applicants still be interested, it may be beneficial to conduct a second interview of the two applicants. Due to Steve Thompson's resignation, a third interview committee member should be appointed.



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## MEMORANDUM

**Date:** September 27th, 2018  
**To:** Mayor Crawford and Members of the City Council of Elko New Market  
Tom Terry, City Administrator  
**From:** Rich Revering, PE – City Engineer  
**Subject:** 2019 Pavement Rehabilitation Feasibility Report Preview  
Elko New Market  
Project No.: T17.116817

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### **BACKGROUND**

Council ordered preparation of a feasibility report for the above-referenced project at its August 23<sup>rd</sup>, 2018 regular meeting. The report is a required step for project financed all or in part by Special Assessments. The Council also expressed support for a Streets Expo event. One of the purposes of the event is to provide information to the public on the street rehabilitation project.

### **DISCUSSION**

The Streets Expo is tentatively scheduled for October 8<sup>th</sup>, 2019. Staff intends to consider any questions and feedback received at the event in the final draft of the report. However, enough work has been completed on the report to give the council a preview.

The City Engineer will present information from the report for council information and feedback under the Engineering Report. This preview will include the method and estimated amount of assessments for typical homes based on the City's assessment policy.

### **RECOMMENDATION**

No action will be required at this meeting.

End of Memo

**ELKO NEW MARKET PARKS COMMISSION  
TUESDAY, SEPTEMBER 11, 2018  
REGULAR MEETING MINUTES**

**PRESENT:**

Present at Roll Call were Commissioner Zahratka; Commissioner Dornseif; Commissioner Melgaard; Commissioner Miller; and Chair Mike Sutton. Also present were Assistant City Administrator Mark Nagel and Mayor Bob Crawford.

**CALL TO ORDER:**

The meeting was called to order at 4:02 PM in Conference Room B at Elko New Market City Hall, 601 Main Street.

**APPROVE AGENDA:**

Mr. Nagel passed out copies of a Revised Agenda for the meeting and said that there were to (2) additional items for the September Meeting Agenda – Item 7.b. – Update on Proposed Archery Grant from MNDNR – and new Item 7.e. – Consider Approval of Wagner Park Shelter Repairs. On motion by Commissioner Melgaard, seconded by Chair Sutton, the Revised September Meeting Agenda was approved.

**CITIZEN COMMENTS:**

There were no citizens present at the September Parks Commission Meeting to make comments to the Parks Commission.

**APPROVAL OF MINUTES OF AUGUST 7, 2018 PARKS COMMISSION MEETING:**

Upon motion by Commissioner Miller; seconded Commissioner Dornseif, the Parks Commission Unanimously approved the August 7, 2018 Parks Commission Meeting Minutes as printed.

## **PETITIONS, REQUESTS, AND COMMUNICATIONS:**

Mr. Nagel reviewed an Article from the National Recreation and Park Association, “Recognizing Parks and Recreation’s Role in Economic Development” noting that quality parks and recreational programs are a key ingredient in successful local development programs. He said that he provides articles, like this one, to help provide perspective to Commissioners on their work at the local level to enhance parks and recreation in Elko New Market.

## **UPDATES:**

Mr. Nagel reviewed the August 29, 2018 ENM Parks Commission Update, which contained 19 items, with the Commissioners. Mr. Nagel said that the final tally for Summer Events at the Wagner Park Shelter was completed and the attendance for the 5 events topped 400 people. He noted that the July 12<sup>th</sup> rainout of the Rad Zoo was moved to the Community Picnic, which had an estimated attendance of 200 people, as well as sponsoring “Dazzling Dave” for Night to Unite on August 7<sup>th</sup>. He said that Jessica Davidson would get started next month on planning the Winter 2018 events at the Library.

Chair Sutton reported that the focus of the CCEC will be on planning for the Halloween festivities on Saturday morning, October 27<sup>th</sup>.

## **OLD/NEW BUSINESS:**

Mr. Nagel called Commissioner’s attention to the redesign of the proposed disc golf course, which will be constructed by Leiviska Golf Design at a cost of \$8,400, plus some brush clearing by the City. The new layout minimizes effects to the wetlands area, so can now be constructed. Consensus of the Parks Commission was that the new layout was acceptable. As per Parks Commission direction, Mr. Nagel will inform the surrounding neighborhood of the proposed disc golf course for additional input.

Mr. Nagel said that he had been in touch with MN DNR regarding a grant to purchase the following for next year’s archery program: (1) an additional 2 left eye dominant bows; (2) three mini bows - for the kids that run smaller in size - easier to pull back; (3) more arrows; and (4) hard-sided cases for the bows. Mr. Nagel said that there were no funds available from the State of Minnesota DNR to

purchase these items, but that funding may be possible through National Wild Turkey Federation and/or the Minnesota Deer Hunter's Association, so he said that his next step would be to contact those organizations about possible grants. If a grant was not available, then he would be back possibly at the October meeting with costs for purchasing the equipment through the national Archery in Schools Program. No further action was taken by the Parks Commission on this Agenda Item.

Mr. Nagel presented a revised draft of the SkatePark Rules and Regulations to Parks Commissioners based on suggestions from the Commissioners and City Staff. After discussion of the revised draft and 2 minor wording changes, upon motion by Chair Sutton, seconded by Commissioner Miller, the Parks Commission unanimously approved the wording of the SkatePark rules, including the revisions made at the meeting, and directed Staff to purchase 2 signs for installation at the SkatePark.

Mr. Nagel called Commissioners attention to his memo, which outlined options for purchasing a new electric stove/oven for the Wagner Park Shelter that included the following criteria: white color, coil cooktop, at least a 5 cubic foot, self-cleaning oven at a cost not exceed \$700 donation from the N.E.W. Lions Club. After discussion of the options presented in the Memo for a new electric stove/oven, motion was made by Commissioner Miller and seconded by Commissioner Dornseif to direct Mr. Nagel to purchase a Kenmore Model 94142 and place the remaining amount of the \$700 donation into an account for future repairs and/or replacement of either the electric stove or the existing refrigerator. Motion passed unanimously.

Mr. Nagel presented an estimate from Morton Buildings, Inc of \$2,282 to repair the recently vandalized Wagner Park Shelter. He said that before he signed the agreement to repair the shelter, he would report the damage to the League of Minnesota Cities Insurance Trust. Upon motion by Chair Sutton, seconded by Commissioner Miller, the Parks Commission unanimously approved the repair of the Wagner Park Shelter by Morton Buildings, Inc for an amount not to exceed \$2,282.

Mr. Nagel said that a resident had requested that the Parks Commission consider placing a new water fountain at Wagner Park. He said that the cost would vary by the type of fountain and installation costs, but if a free standing one was placed near the playground equipment, then costs could be in the \$3,300 range - \$1,000 for the fountain and \$2,300 for the installation. After much discussion, consensus

of the Parks Commissioners was for Staff to bring back options and costs at a future meeting for further discussion. No further action was taken on this Agenda Item.

Mr. Nagel presented the Bill List to the Commissioners – The Big Fun Show for \$350 for the July 19<sup>th</sup> Wagner Park Summer Event and 2 bills from Schlomka's Portable Restrooms for services for August and September for a total of \$1,420. Upon Motion by Commissioner Melgaard; seconded by Chair Sutton, the Parks Commission unanimously approved the Bill List as presented.

### **OTHER BUSINESS:**

There were no additional business items to come before the Parks Commission at the September 11th meeting.

### **NEXT MEETING:**

On motion by Commissioner Dornseif; seconded by Commissioner Zahratka, the next meeting of the ENM Parks Commission was set for Tuesday, October 9, 2018 at 4 PM in Conference Room B of Elko New Market City Hall.

### **PARK COMMISSIONER COMMENTS:**

A brief discussion of the Pet Waste Stations was held. Staff and Commissioners will review possible new locations for additional stations this month. Mr. Nagel will add it to the October 9<sup>th</sup> Parks Commission for further discussion.

### **ADJOURNMENT:**

There being no further business to come before the Parks Commission, upon motion by Commissioner Dornseif, seconded by Commissioner Miller, the meeting was adjourned by voice vote at 5:20 PM.

**Respectfully Submitted,  
Mark Nagel, Assistant City Administrator**